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TRANSMITTAL COVER

TO: City of Kelso, WA

RE: Donation Pump Station and Force Main Upgrade Land Use Applications

On behalf of Wallis Engineering and E² Land Use Planning, please find the following application materials relating to the Donation Pump Station and Force Main Upgrade:

- A. Kelso Master Land Use Application Form
- B. Kelso Administrative Checklist
- C. Kelso Variance Checklist
- D. Kelso Critical Areas Checklist
- E. Kelso SEPA Checklist
- F. Narrative
- G. Donation Existing Conditions Figure
- H. Donation PS Preliminary Site Plan
- I. Donation PS Architecture Elevations
- J. Donation FM Plans
- K. W1304 Geotechnical Slope Assessment
- L. Title Commitment
- M. Title Map
- N. Title Plat 103
- O. Title Plat 104
- P. Title Taxes
- Q. Title Vesting Deed 349375



MASTER LAND USE APPLICATION

For Office Use Only

Questions and Applications
can be directed to:

Community Development
203 S. Pacific #208
PO Box 819
Kelso WA 98626

360-423-9922 (Office)
360-423-6591 (Fax)
building@kelso.gov

<i>Office Use Only</i>	<input type="checkbox"/> Zoning	<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> SEPA	<input type="checkbox"/> Type I Review	<input type="checkbox"/> Type II Review	<input type="checkbox"/> Type III Review	<input type="checkbox"/> Type IV Review
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CHECK ALL THAT APPLY AND ATTACH THE APPROPRIATE SUPPLEMENTAL FORM(S)

Zoning / Comp Plan Amendment	Subdivision	Other
<input type="checkbox"/> Annexation <input type="checkbox"/> Code Interpretation <input type="checkbox"/> Conditional Use <input type="checkbox"/> Design Review	<input type="checkbox"/> Planned Unit Development <input type="checkbox"/> Rezone / Comp. Plan Amend <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> Text Amendment Request <input type="checkbox"/> Variance	<input type="checkbox"/> Alteration/Vacation <input type="checkbox"/> Binding Site Plan <input type="checkbox"/> Boundary Line Adjustment <input type="checkbox"/> Short Subdivision <input type="checkbox"/> Sign Permit <input type="checkbox"/> Subdivision (Long) <input type="checkbox"/> Subdivision Variance
		<input type="checkbox"/> Appeal <input checked="" type="checkbox"/> Environmental Checklist <input type="checkbox"/> JARPA: <input type="checkbox"/> Critical Area <input type="checkbox"/> Shoreline Exemption <input type="checkbox"/> Substantial Development

Project Name: Donation Pump Station Upgrade

Property Address: North 4th Avenue, no situs

Parcel Number(s): #3036854, Parcel 22455 Will project be in the Flood Plain (no)


Any part of this property within 200 feet of a shoreline of statewide significance (no)

Will there be any filling, grading or excavation associated with the project (yes/no) If yes, quantity of earthwork _____

Project Description Upgrade the existing Donation Pump Station, includes replacement 450 S.F. CMU building, diesel generator, valve vault, concrete retaining walls, and site improvements.

Applicant Information

The property owner(s), by signing this form, hereby state as true that they are the owner(s) of the property that is the subject of this application, have reviewed the proposal as presented in the application, and wish to pursue the change(s) in land use.

Applicant PROPERTY OWNER			
Business Name: City of Kelso	Contact Name Wes Wegner, Acting Agent		
Mailing/Billing Address: P.O. Box 819	City: Kelso	State: WA	Zip: 98626
Phone: 360.747.8434	Email: wes.wegner@walliseng.net		
Signature: Acting Agent 	Date: 3/23/22		
Representative of Applicant			
Business Name: Wallis Engineering	Contact Name Wes Wegner, P.E.		
Mailing/Billing Address: 215 W 4th Ave., Suite 200	City: Vancouver	State: WA	Zip: 98660
Phone: 360.695.7041	Email: wes.wegner@walliseng.net		
Additional PROPERTY OWNER			
Business Name: None	Contact Name		
Mailing/Billing Address:	City:	State:	Zip:
Phone:	Email:		
Signature:	Date:		

If there are additional property owners, provide attachment in the same format and with same declaration.

Are existing structures located on lots? Yes No (Show location and label type of structure on map. Identify uses of all existing and proposed structures.)



**CITY OF KELSO
COMMUNITY DEVELOPMENT DEPARTMENT**

P.O. Box 819
203 S. Pacific Ave., Ste. 208
Kelso, WA 98626

Phone: 360-423-9922 ~ Fax: 360-423-6591

ADMINISTRATIVE USE CHECKLIST

The following checklist identifies information to be included with the application for Administrative Use.

Four (4) folded and collated copies of the following information must be submitted and the application fee^{*1} must be paid before the application will be considered complete. Please see the Kelso Municipal Code (KMC) Chapter 17.15 for more information.

¹ **Application Fee** – the application fee is \$400. Additional applicable fees will be charged if other applications are attached including SEPA Reviews, Variances, or Shoreline Substantial Development Permits, etc.

- 1. Land Use Application form** - shall be completed and signed in ink by the applicant.
Written permission from the property owner (of record) stating what the proposed use will be and the time period for said use.
- 2. SEPA Checklist** – must be completed and returned with the appropriate fee, if applicable.
- 3. Completed Critical Areas Checklist** - If critical areas are present on the site or within 200 feet, a Critical Area Report shall be submitted pursuant to KMC 18.20, if applicable.
- 4. Application Fee** – shall accompany the application. Checks shall be made payable to the “City of Kelso.”
- 5. Traffic Study** - if required by the Public Works Director.
- 6. Narrative** - A written narrative shall be submitted with the application that addresses the following:
 - That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, signs and other features required by the code can be met;
 - That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use;

- That the proposed use will have no substantial adverse effect on abutting property or the permitted use thereof; and,
- The days and hours of operation for the proposed use, the number of employees, and all aspects of the proposal are consistent with public health, safety, and general welfare for the proposed development and adjacent properties.

7. Site Plan – Submit:

- **Four (4) full size copies** (typically in 18" x 24" format) drawn to scale (not less than 1" = 20' and not more than 1" = 50'),
- **One (1) reduced copy** in 11" x 17" or 8 1/2" x 11" format and
- **One (1) electronic copy** (pdf or jpg) showing at a minimum the following:
 - a) Name of the proposal, date, scale, and north arrow.
 - b) Applicant's name, phone, and fax number.
 - c) Contact person's name, phone, and fax number.
 - d) Vicinity map.
 - e) The signature of the owner(s) of the land to be involved.
 - f) Legal description including Section, Township, and Range.
 - g) Location of existing and propose property lines.
 - h) Dimensions and area (square footage) of the lots.
 - i) Existing structures on site.
 - j) Setbacks to all existing and proposed structures from the property lines.
 - k) Location and description of the environmental features.
 - l) The high water mark boundaries if the proposed subdivision borders a river, stream, or lake.
 - m) The contours with intervals of five (5) feet or less if the site has steep slope greater than 10% (if applicable).
 - n) A conceptual grading plan showing proposed clearing and vegetation retention as well as proposed topography detailed to five (5) foot contours, if applicable (if applicable).
 - o) Drainage plans in conformance with the requirements per the Public Works Director (if applicable).
 - p) The Base Flood Elevation (BFE) benchmarks if the proposed subdivision is located in the 100-year floodplain (if applicable).
 - q) Future development plans, if applicable.
 - r) Any additional information determined to be necessary to demonstrate compliance with any other portions of the Kelso Municipal Code (KMC).



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VARIANCE APPLICATION CHECKLIST

The following checklist identifies information to be included with the application for Conditional Use. All of the following information must be submitted and the application fee must be paid before the application is considered complete. Please see the Kelso Municipal Code (KMC) Chapter 17.140 for more information.

I) Application Fees - \$1,000 or \$400.00 for Administrative decision. Checks shall be made payable to the "City of Kelso." Additional applicable fees will be charged if other applications are attached including Administrative Decision (Site Plan Approval), or Shoreline Substantial Development Permits, etc.

II) Three (3) folded and collated copies of the following information:

- 1. Master Land Use Application Form** - shall be completed and signed in ink by the applicant.
- 2. Legal Description** – supplied by a title company or surveyor licensed by the State of Washington.
- 3. Title Report** - issued within 90 days of application, showing all persons having an ownership interest.
- 4. Narrative** - A written narrative shall be submitted with the application that addresses the following:
 - That such variance is necessary, because of special circumstances relating to the size, shape, topography, location, or surroundings of the subject property, to other properties in the vicinity and in the same zone in which the subject property is located.
 - That the granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which the subject property is situated.
 - If such permit for variance is denied, no reapplication shall be made within one year from the date of denial.
 - An approved variance will go with or be assigned to the subject property and shall not be transferable to another property.
 - No use variance shall be granted except for lawfully created pre-existing uses.

5. Site Plan - reduced copies in 11" x 17" or 8 1/2" x 11" format showing at a minimum the following:

- a) Name of the proposal, date, scale, and north arrow.
- b) Applicant's name, phone, and fax number.
- c) Contact person's name, phone, and fax number.
- d) Vicinity map.
- e) The signature of the owner(s) of the land to be involved.
- f) Location of existing and propose property lines with dimensions and area (square footage) of the lots.
- g) Setbacks to all existing and proposed structures from the property lines. Indicate as to whether to remain or be removed
- h) Location and names of existing and proposed right-of-way widths, streets, curb, gutter, sidewalks, driveways, drive isles, off-street parking, railroads, alleys, bicycle parking, and pedestrian and bicycle pathways.
- i) The Base Flood Elevation (BFE) benchmarks if the subject property is located in the 100-year floodplain.
- j) The high water mark boundaries if the proposed subdivision borders a river, stream, wetland, or lake, etc.
- k) Location of existing and proposed private and public utilities including water, sewer, and storm drain, etc.
- l) Location of existing and proposed private and public easements.
- m) Any additional information determined to be necessary to demonstrate compliance with any other portions of the Kelso Municipal Code (KMC).



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CRITICAL AREA CHECKLIST

Please answer the following questions concerning Critical Area indicators located on or within 200 feet of the project area. Please see the Kelso Municipal Code (KMC) Chapter 18.20 for more information.

Applicant's Name City of Kelso

Site Address N 4th Avenue, Property ID 3036845

Proposed Use(s) Donation Sanitary Pump Station

Section 26 **Township** 8N **Range** 2W **Parcel #** 22455 **Permits** _____

1. Are you aware of any environmental documentation that has been prepared related to critical areas that includes the subject area: (*If yes, please attach a list of document titles)
 Yes* No Unknown
2. Are there any surface waters (including year round and seasonal streams, lakes, ponds, bogs, swamps)?
 Yes* No Unknown
3. Is there vegetation that is associated with wetlands?
 Yes* No Unknown
4. Have any wetlands been identified?
 Yes* No Unknown
5. Are there areas where the ground is consistently inundated or saturated with water?
 Yes* No Unknown
6. Are there any State or Federally listed sensitive, endangered or threatened species and habitats?
 Yes* No Unknown
7. Are there slopes of 15% or greater?
 Yes* No Unknown
8. Is the project located within a Flood Hazard Zone?
 Yes* No Unknown

9. Do you know of any landslide hazard areas?



Yes*



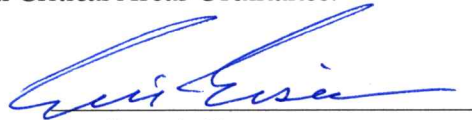
No



Unknown

I grant permission to the field inspector to enter the building site to determine the presence or absence of critical areas.

I understand that if the information on this form is later determined to be incorrect, the project or activity may be subject to conditions or denial as necessary to meet the requirements of KMC 18.20, the Kelso Municipal Critical Areas Ordinance.



Applicant's Signature

March 17, 2022

Date

SEPA ENVIRONMENTAL CHECKLIST

UPDATED 2014

Purpose of checklist:

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals:

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the [SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS \(part D\)](#). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

A. background

1. Name of proposed project, if applicable: Donation Pump Station Upgrade and Donation Force Main
2. Name of applicant: City of Kelso
3. Address and phone number of applicant and contact person: Michael Kardas, P.E. Kelso
Community Development Director, 360.747.8434

4. Date checklist prepared: March 12, 2022
5. Agency requesting checklist: City of Kelso
6. Proposed timing or schedule (including phasing, if applicable): Construction in 2022/2023
7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. No
8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. W-1304A Geotechnical Slope Assessment
9. Do you know whether applications are pending for governmental approvals or of other proposals directly affecting the property covered by your proposal? If yes, explain. No
10. List any government approvals or permits that will be needed for your proposal, if known.
 - Administrative Decision
 - Setback Variance
11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

Upgrade the existing Donation sanitary pump station. The improvements include:

 - 450 S.F. CMU utility building with a 9'-8" wall height and a lean-to style metal roof. The building will be surrounding by a concrete block security and screening wall 6' high. Two person doors are to be located on the south elevation. A wet well access area and access gate are to be located on the west elevation.
 - A replacement diesel powered emergency generator measuring 3'-4" wide 15' long x 7'9" high.
 - Valve vault replacement on the west end between the building and the street. The vault will be surrounded on three sides by a 2-foot high curb wall.
 - Utilities and general site improvements.

Force Main:

 - Replace the existing 8" force main within 4th Ave. with a 16" HDPE force main running south from the pump station approximately 1, 150 lineal feet.
 - No additional environmental impacts anticipated with the new force main.
12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

North 4th Avenue, Kelso WA. SEC 26 T8N R2W Lot 22455, Property ID 3036854

B. ENVIRONMENTAL ELEMENTS

1. Earth

- a. General description of the site
(circle one) Flat rolling, hilly, steep slopes, mountainous,
other _____
- b. What is the steepest slope on the site (approximate percent slope)? 35%-40% at east end outside of the pump station project area. 4th St. road bed is generally flat
- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. Alluvial sand and gravel in flats and Troutdale Formation on slopes
- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. Yes. Past general instable slopes and landslide along N 4th Ave. in 2009.
- e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.
The existing site, within the footprint of the improvements, will be cleared, graded and resurfaced to facilitate the operational needs of the facility. A combination of asphalt and concrete surfacings will be constructed to facilitate both vehicular and pedestrian access to the site, equipment and pump station building. Approximately 9 cubic yards of material will be cut from the site and approximately 18 cubic yards of material will be filled on the site to construct the improvements. Fill material is expected to be aggregate material transported to the site from a commercial quarry and cut material is anticipated to be hauled and disposed of offsite at a location intended for this use.
- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.
The construction sites for the pump station and force main are flat. Construction will be subject to Kelso Engineering and Design Manual
- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? 25% of the pump station site. 100% of the existing paved street.
- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:
Construction activity will comply with the recommendations of the geotechnical reconnaissance report and the Kelso Engineering and Design Manual related to erosion control.

2. Air

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. General construction activity and use of the emergency diesel generator when necessary.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. No other sources of emissions or odor other than that described in Sections 2.a and 2.c.
- c. Proposed measures to reduce or control emissions or other impacts to air, if any:
The sanitary pump station equipment will be housed within a concrete building. The valve vault will be underground. The force main will be buried under the street.

3. Water

a. Surface Water:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.
The Cowlitz County EPIC mapping system indicates a possible fish bearing stream running diagonally through the western portion of the site. The WA DNR Forest Practices Application Mapping Tool indicates the presence of a fish bearing stream east and uphill of the site. WA WDFW PHS mapping system does not indicate a stream on site. Kelso city staff indicate that the stream was filled in in the prior century as part of the local diking system. There is no evidence of a stream on site today.
- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. No
- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. None
- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. No
- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. No
- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. No

b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. No
- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. The project is to upgrade the Donation sanitary pump station and install a force main in the street. The

improvements will improve reliability and should help reduce the possibility of unanticipated sewage discharge. No waste discharge to the ground is anticipated with this project.

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. Storm water runoff from the site will follow existing drainage patterns and enter the existing storm sewer collection system within N 4th Avenue which conveys flows offsite.
- 2) Could waste materials enter ground or surface waters? If so, generally describe. The proposed improvements will reduce the likelihood of waste water entering ground or surface waters.
- 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe. No

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any: The project will comply with the Kelso Engineering and Design Manual standards.

4. Plants

a. Check the types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- Orchards, vineyards or other permanent crops.
- wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered? Established grass in the project area will be disturbed. No construction activity will occur on the forested slope above the construction site with the exception of tree trimming and vegetation maintenance. The force main will primarily be under the paved street and road shoulder. A small section of unpaved right of way will require the removal of blackberry bushes and other brush.

c. List threatened and endangered species known to be on or near the site. None known

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: The project will comply with the Kelso requirements and standards for landscaping applicable to the RSF-5 zone.

- e. List all noxious weeds and invasive species known to be on or near the site. None known

5. Animals

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. Examples include:

birds: hawk, heron, eagle, songbirds, other:

mammals: deer, bear, elk, beaver, other:

fish: bass, salmon, trout, herring, shellfish, other _____

- b. List any threatened and endangered species known to be on or near the site. None known

- c. Is the site part of a migration route? If so, explain. Pacific Flyway

- d. Proposed measures to preserve or enhance wildlife, if any: None required

- e. List any invasive animal species known to be on or near the site. None known

6. Energy and natural resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. Electric service is currently provided by Cowlitz PUD and will continue to serve the upgraded pump station.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. No, the building is low scale

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: None

7. Environmental health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. The on-site standby diesel generator will be contained behind a 6-foot high concrete wall and chain link fence.

1) Describe any known or possible contamination at the site from present or past uses. The use is a sanitary pump station. The existing underground diesel tank will be decommissioned, and new storage tank located above ground with the standby generator.

2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. None known

3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. None anticipated

- 4) Describe special emergency services that might be required. None
- 5) Proposed measures to reduce or control environmental health hazards, if any: The project will comply with Kelso Engineering and Design Manual and applicable state regulations relating to diesel storage tanks and standby generators.

b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? The neighborhood is a low density residential area. Vacant lots are to the south. The existing pump station sits below the eastern hill. All operations will occur within the concrete pump station building or below ground.
- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site. General traffic noise and intermittent use of the standby generator.
- 3) Proposed measures to reduce or control noise impacts, if any: Operations will be contained within the pump station building. The standby generator will include an enclosure rated for Level II sound attenuation (63-78 dBA) and will be enclosed by a 6-foot concrete wall.

8. Land and shoreline use

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. The current use is a sanitary pump station. Adjacent lots are either vacant or used for single family residential use.
- b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? The property is not used for or designated for farm use.
 - 1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how: No
- c. Describe any structures on the site. Existing concrete pump station building and below ground vaults. Paved street over the force main.
- d. Will any structures be demolished? If so, what? Yes, the existing pump station building will be replaced by a 450 S.F. concrete pump station.
- e. What is the current zoning classification of the site? RSF-5 for the pump station. Public right-of-way for the force main.
- f. What is the current comprehensive plan designation of the site? Residential and right-of-way.
- g. If applicable, what is the current shoreline master program designation of the site? None

- h. Has any part of the site been classified as a critical area by the city or county? If so, specify. Yes, steep slopes to the east outside of the pump station project area.
- i. Approximately how many people would reside or work in the completed project? None
- j. Approximately how many people would the completed project displace? None
- k. Proposed measures to avoid or reduce displacement impacts, if any: None needed
- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: The applicant will apply for a city administrative review and for a variance to the front yard setback standard.
- m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any: There are not agricultural or forest lands nearby.

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. None
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. None
- c. Proposed measures to reduce or control housing impacts, if any: None

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? Pump station building will be less than 14 feet high with an exterior composed of CMU. Force main will be below the street level.
- b. What views in the immediate vicinity would be altered or obstructed? None
- c. Proposed measures to reduce or control aesthetic impacts, if any: None

11. Light and glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur? Outdoor safety light to be used at the pump station as needed.
- b. Could light or glare from the finished project be a safety hazard or interfere with views? No
- c. What existing off-site sources of light or glare may affect your proposal? None
- d. Proposed measures to reduce or control light and glare impacts, if any: None

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity? Kelso School District site to the north includes outdoor play fields.
- b. Would the proposed project displace any existing recreational uses? If so, describe. No
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: None

13. Historic and cultural preservation

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe. The existing pump station was constructed in the early 1950s and is not eligible for listing in a local, state, or national register. The street is not eligible for listing.
- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. The site is within an area DAHP indicates may have a high probability of archaeological resources. The proposed project will take place within the footprint of the existing pump station building except for excavating and grading necessary to install the site surfacing improvements and utility installation. The force main will be installed in an existing paved road.
- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. GIS consultation
- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required. The city will comply with the state inadvertent discovery rules.

14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. N 4th Ave.
- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? No
- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? None

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle, or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). No
- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. Local street system and I-5 located further east will not be impacted by operation of the pump station or force main.
- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates? Potentially 2-4 ADT's associated with site monitoring and maintenance. No vehicle trips associated with the Force main.
- g. Will the proposal interfere with, affect, or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe. No
- h. Proposed measures to reduce or control transportation impacts, if any: None

15. Public services

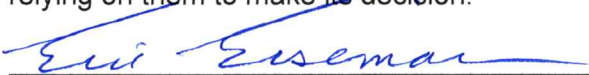
- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. No
- b. Proposed measures to reduce or control direct impacts on public services, if any. None

16. Utilities

- a. Circle utilities currently available at the site:
electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other _____
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. The project is to upgrade an existing sanitary pump station and install a new force main in the street. Electric, potable water service is available on-site.

C. Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: 

Name of signee Eric Eisemann

Position and Agency/Organization Principal, E² Land Use Services

Date Submitted: March 18, 2022

DONATION PUMP STATION AND FORCE MAIN UPGRADE

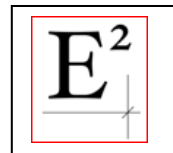
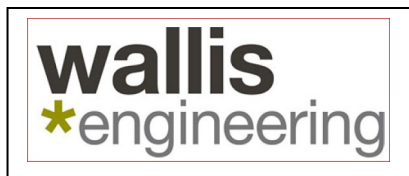
DEVELOPMENT PERMIT



Google 2021, Image Capture October 2020

Submitted by Wallis Engineering and E² Land Use Service

March 23, 2022



PROPERTY OWNER

CITY OF KELSO, WA

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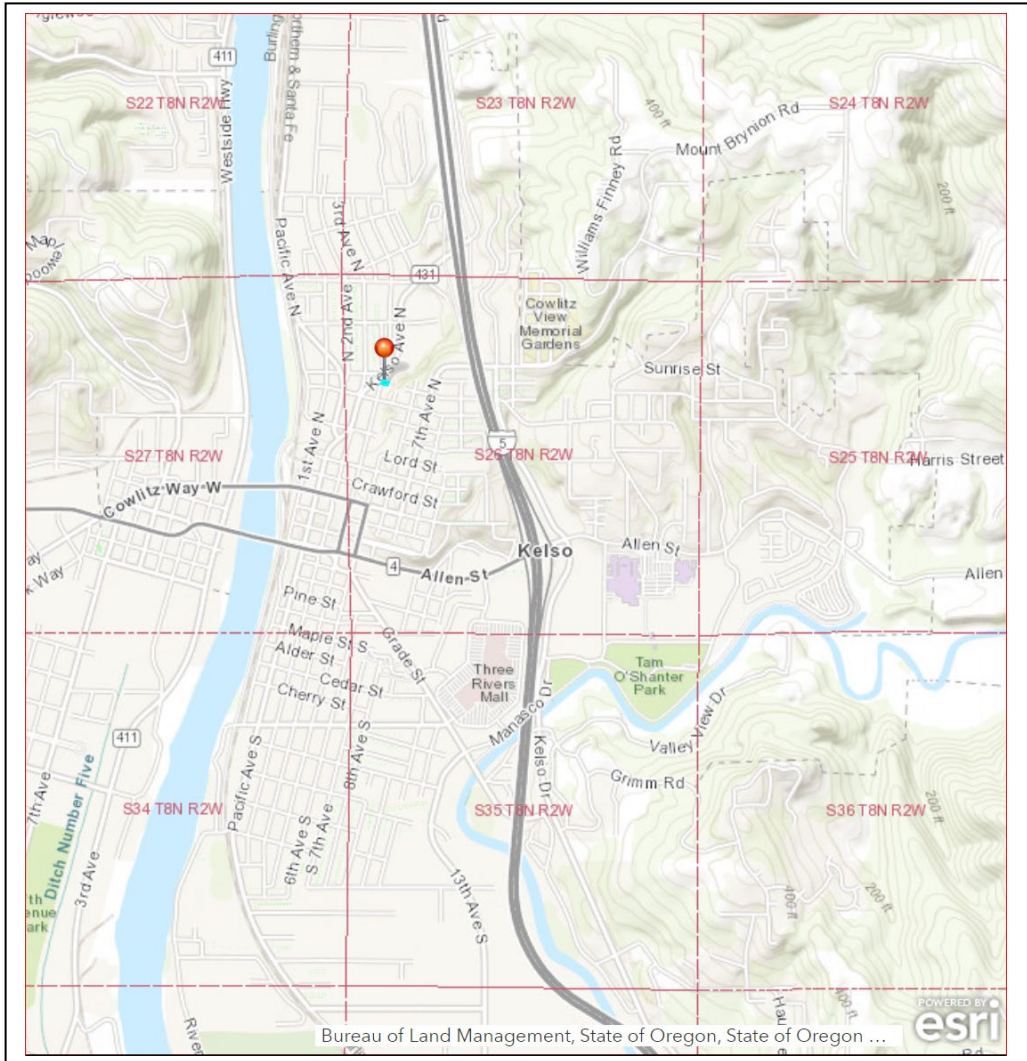
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Location



DONATION PUMP STATION and FORCE MAIN UPGRADE

Site Basic Facts

Pump Station

Address: North 4 th Avenue	Parcel 22455
Property ID : 3036854	Parcel size: approximately 5,400 S.F.
Property Owner: City of Kelso	
Zoning: RSF-5	Use: Permitted

Force Main

N. 4th Ave. does not have a property identification number and is not zoned. Utilities are allowed within existing ROWs.

Existing Conditions

Pump Station

To the north of the Donation Pump Station (PS) is an existing single family residence. The abutting three lots to the south are undeveloped. Single family residences are further south along N 4th Ave. Uphill, to the east is a vacant lot. To the west, across N. 4th Ave., is an undeveloped and a developed residential lot.

The western property line is wooded and slopes steeply uphill. Catherine Morey, Kelso Stormwater Engineer, reports that Drainage Improvement District No. 1 filled the fish-bearing stream identified on the Department of Natural Resources (DNR) [Forest Practices Application Mapping Tool \(FPAMT\)](#) and that fish no longer traverse or inhabit the filled land.

The project site is located along the east side of the Cowlitz River drainage. Elevations range from about 20 feet at the pump station to about 25 feet near Harris Street (World Geodetic System of 1984 [WGS 84]). The PS is currently situated at the base of an approximately 50-foot-high north-south slope that ascends east to about elevation 70 feet. The ground slopes upward to the south at Harris Street to about elevation 75 feet near Columbia Street. The total slope height south of the terminus of N. 4th Ave. is about 50 feet. Site disturbance or development is not proposed in the steeply sloped area.



Force Main Replacement

Within the N 4th Ave. right-of-way (ROW) and below the pavement there is an existing 8 inch force main on the east side of the street and an existing 10 inch force main on the west side.

Project Proposal

Pump Station

The City of Kelso proposes to increase reliability and operational efficiency of the Donation sanitary pump station. The Donation PS was originally built around 1950. The pump station equipment was removed and replaced in 1975. The existing pump station is a wet well/dry well configuration and consists of a 25-foot by 15-foot below-grade concrete structure with an above-ground masonry walled building. The structure extends approximately 23.5 feet below ground level. The dry well houses the pumps, motors, valves, and ancillary

equipment. The electrical and control panels are located above the ground floor of the structure with the existing standby diesel-fueled generator. The pump station operates continuously during heavy rains because of known inflow and infiltration problems in North Kelso. The project design will rehabilitate or replace the existing pump station essentially in the same plan area footprint.

Force Main

The project will also replace the existing 8" force main within 4th Ave. with a 16" HDPE force main running south from the pump station approximately 1,150 lineal feet. Replacing the existing 8 inch force main in a similar location, under the street, is not anticipated to generate any additional adverse environmental impacts.

Kelso Narrative Form Content

- ✓ Describe the size of the structures and scope of each use, if any.

Response

The proposal is to upgrade the existing Donation PS and replace the existing 8 inch force main with a 14 inch force main within N 4th Ave.

The PS improvements, as shown in Figures 2 and 3, include:

- 450 S.F. CMU utility building with a 9'-8" wall height and a lean-to style metal roof. Two person doors are to be located on the south elevation. A wet well access area and access gate are to be located on the west elevation.
 - A replacement diesel powered standby generator measuring 3'-4" wide 15' long x 7'-9" high.
 - The diesel generator will be enclosed by a 6-foot high concrete masonry wall which will provide necessary security and protection.
 - Valve vault replacement on the west end between the building and the street. The vault will be surrounded on three sides by a 2-foot high curb wall.
 - Utilities and general site improvements.
- ✓ Describe who will be using the structures and implementing the uses (for example; number of people, private or public, any fees . . .)

Response

The city of Kelso Public Works department staff are the only persons who will use access and maintain the pump station and the force main.

- ✓ Describe timelines for construction and completion of structures, if any.

Response

Construction will begin in 2022 and will be completed in 2023.

- ✓ Describe timelines that apply to uses (for example: when the uses will take place, how frequently, hours of operation . . .)

Response

The pump station and force main will operate 24 hours a day, 365 days a year. Kelso Public Works Department staff will visit the site for routine maintenance and as needed.

- ✓ Describe the current use of the area and surrounding area, if any. Please include only those uses that are immediately adjoining your proposal and those which are in the vicinity and may be affected by your proposal.

Response

The surrounding area is zoned RSF-5, and the uses include low density residential dwellings. Kelso has continuously used the site for sanitary pump station purposes since the early 1950s. The Donation PS and force mains are essential public facilities needed to provide sanitary service to this area of Kelso. In

that respect, the pump station and force main upgrade is essential to maintain the integrity and use of the single family dwellings nearby.

- ✓ Describe the structures currently on site and in the surrounding area (for example: how many, what size.

Response

The current use of the property is for a sanitary pump station. As shown in Figure 1, the current development includes an existing – pump station building, underground diesel tank, driveway, and wooden retaining wall. The sloped area of the property is vacant.

Zoning - Applicable Development Regulations.

The PS site is zoned [Residential Single Family-5,000 SF \(RSF5\)](#) as are abutting lots. N 4th Ave. is not zoned. Kelso Municipal Code (KMC), Chapter 17, Unified Development Code, regulates land use activities. Per KMC Table 17.18.040, a “Public facility/park” is a permitted use in the RSF-5 zone.¹ The same table indicates that “Public works/utility building” is a classified use in the RSF-5 zone. The KMC does not define the terms public facility/park or public works/utility building, however, the city has determined that the Donation PS is a public facility and is a permitted use in the RSF-5 zone. The City of Kelso has determined that the Donation PS is a utility, a “Public Facility,” and is a permitted use.

Density, dimension, height, and setback requirements, KMC 17.22.020

Table 17.22.020-A

Standard	Code Required (feet)	Proposed (feet)
Maximum Residential Density	8.7	NA
Minimum Lot Width	25	Existing lot = 50
Maximum Building Height	35	9’ 8” wall height
<u>Setbacks</u>		
- Front	20	14’-9” to building (existing setback), valve vault at edge of ROW
- Side Street	7	NA
- Side	5	North = 11, South = 7 to generator
- Rear	10	Greater than 10
Maximum Lot Coverage with Impervious Surfaces	50%	Less than 50%

The pump station proposal, except for the front yard setback, will meet the required dimension and setback requirements. The front yard setback from the edge of right-of-way (ROW) to the existing building is approximately 15 feet. The proposed replacement building, to be built in the same footprint, will be 14’ 9” from the edge of the ROW. Consequently, the applicant will apply for a front yard setback adjustment.

B. All required setbacks:

1. *Must comply with the landscaping provisions of Section [17.22.100](#);*
2. *May not include impervious or hardened surfaces except for approved driveways and sidewalks;*
3. *May include low impact development stormwater design features;*
4. *May include underground structures provided that they do not encroach on easements or neighboring properties. It is the responsibility of the property owner to ensure compliance with this provision and to maintain the underground structure;*

¹ A Public facility/park is subject to compliance with FN 17, “Only permitted in accordance with the provisions of Section [17.22.290](#), Public facilities.” (essentially landscape screening and fencing).

5. *May include overhead and underground utilities; and*
6. *Shall maintain a clear sight triangle at the intersection of driveways or access roads and the street rights-of-way to assure traffic safety in accordance with the provisions of the Kelso Engineering and Design Manual.*
7. *Where existing front setbacks directly abutting a lot are less than that required by Table 17.22.020, the front setback yard may be reduced to the average depth of the existing setbacks.*

Response

The front yard setback includes an existing driveway which will be improved to city standards. As a condition of approval, the front yard driveway will meet the clear site triangle provisions of the Kelso Engineering and Design Manual. Overhead utility wires will continue to cross side and front yard setbacks.

- E. *The following projections are permitted into required setbacks:*
2. *Outside stairs, platforms or landing places, if unroofed and unenclosed, may extend into required setbacks according to the following:*
 - a. *Front and side setback: maximum of four feet;*
 - b. *Rear setback: maximum of four feet.*

Response

A small set of stairs will be created within the north and south side yard setbacks.

Fences, hedges, and walls, KMC 17.22.080

- B. *No fence, hedge or wall shall be allowed to contain barbed, razor or other types of wire designed to cause injury to persons or animals except within the LI and GI zones.*

Table 17.22.080

Zone class	Maximum Height Front Yard Setback	Maximum Height Rear and Side Yard Setback
RSF-5	42"	6'
Proposed	2' concrete curb wall around three sides of valve vault within setback	6' retaining wall within south side yard setback

Response

The proposed concrete curb wall around the valve vault and 6-foot retaining wall comply with table 17.22.080.

Clearing and grading, KMC 17.22.090

- A. *The purpose of this provision includes but is not limited to promoting public health, safety, and welfare by regulating the preconstruction clearance of vegetation and trees in order to preserve and protect natural vegetation, wetlands, watercourses, and wildlife habitat; minimize erosion and sedimentation; minimize adverse effects on ground and surface waters; enhance the appearance and character of the city; and to comply with state and federal regulations.*
- B. *The following clearing and grading activities require city review and approval through the issuance of a clearing and grading permit, building permit, or other permit(s) issued by the city, unless specifically exempted:*
1. *Land disturbing activities which are commonly referred to as:*
 - a. *Clearing (the act of vegetation removal from the land surface by mechanical or chemical means);*
 - b. *Grubbing (the act of root vegetation removal from beneath the surface of the earth usually in association with clearing);*
 - c. *Excavation (the mechanical removal of earth material);*
 - d. *Filling (deposition of earth material placed by artificial means);*
 - e. *Grading (excavation or filling or combination thereof);*
 - f. *Compaction (densification of earth material by artificial means, including that associated with stabilization of structures and road construction);*

- g. *Stockpiling (temporary deposition of earth material placed by artificial means); and*
- h. *Stabilizing (counteracting the actions of gravity, wind, or water).*
- C. *The following activities do not require a permit from the city, unless they involve an environmentally sensitive area, jurisdictional shoreline area, or required buffer:*
 - 1. *Routine vegetation management that does not involve the use of heavy equipment such as bulldozers or excavators;*
 - 2. *Routine yardwork maintenance and gardening activities such as lawn mowing and gardening;*
 - 3. *The removal of diseased, damaged, or unwanted trees from an existing yard or landscaped area;*
 - 4. *The excavation of less than fifty cubic yards of material over the life of a project;*
 - 5. *The placement of less than fifty cubic yards of fill of the life of a project;*
 - 6. *The storage or stockpiling of less than fifty cubic yards of material such as fill, gravel, sand, beauty bark, etc.*
- D. *For the applicable clearing and grading standards please refer to the Kelso Engineering and Design Manual as well as the International Building Code as adopted by the city of Kelso.*

Response

The existing PS site, within the footprint of the improvements, will be cleared, graded, and resurfaced to facilitate the operational needs of the facility. A combination of asphalt and concrete surfaces will be constructed to facilitate both vehicular and pedestrian access to the site, equipment and pump station building. Approximately 9 cubic yards of material will be cut from the site and approximately 18 cubic yards of material will be filled on the site to construct the improvements.

Landscaping KMC 17.22.100

- B. *A landscaping plan shall be required for all proposed development activities, including new construction, the expansion of existing structures, subdivisions, binding site plans, and master plans in accordance with the provisions of this section; provided, that:*
 - 5. *The city may approve alternative methods or standards; provided, that they meet or exceed the required standards and are consistent with the intent of this section.*
 - 6. *The city may approve variances from the standards in this section in accordance with the provisions of this title.*

Response

The force main will be constructed within existing ROW; landscaping the street is not required. The existing PS lot is heavily wooded to the east. To the south and east the slopes are also heavily wooded. The abutting lot to the north is partially screened from the existing PS by mature trees and shrubs. The PS building is effectively screened to the north, east and south by existing mature vegetation. To the east, the building faces N 4th St. The applicant proposes to leave the mature trees and shrubs in place and proposes that such vegetative conservation provides an alternative method of landscaping that exceeds the required landscape standards and is consistent with the intent of KMC 17.22.100.

- E. *Landscaped Area Requirements. All development activities including new construction, the modification of existing structures, subdivisions, binding site plans, and master plans must provide at least the following amount of on-site landscaped areas (including required landscaping in parking lots), unless otherwise provided in this section:*

Response

There is no minimum on-site landscape area requirement in the RSF-5 zone.

- G. *Perimeter Landscaping Buffer Requirements. In addition to the on-site landscaping requirements, all development activities including new construction, the modification of existing structures, subdivisions, binding site plans, and master plans in the multifamily residential zone (RMF), the commercial zones (NC, GC, RC) (excluding the downtown design review overlay) and the industrial zones (LI and GI) shall also provide an additional landscaped buffer along any property lines abutting a single-family residential zone (RSF-5/10 or RMD) in accordance with the following provisions:*

Response

Perimeter landscaping buffers are not required in the RSF-5 zone.

Parking 17.22.110

Project sponsors must make adequate provisions to meet the projected parking needs associated with all new development activities, including the construction of new buildings, the expansion of existing buildings, changes of use, and/or changes to the terms and conditions of occupancy such as enlarging, moving, or increasing capacity by creating or adding dwelling units, commercial or industrial floor space, or seating facilities.

A. General Requirements.

- 1. Driveways, parking areas, and walkways shall be designed in accordance with the provisions of the Kelso Engineering Design Manual and shall accommodate pedestrians, motor vehicles and bicycles used by occupants or visitors of a building or use.*
- 2. No building permit shall be issued until the city has approved plans that demonstrate that all parking requirements can be met.*
- 3. Existing parking deficits of legally established uses assigned to existing structures shall be allowed to continue even if a change of use occurs; provided, that in the judgment of the city the new use would not necessitate more parking spaces than the previous use.*
- 4. Parking spaces serving residential dwelling units shall be located on the same lot with the building they serve, unless plans submitted for off-site or shared parking are approved by the city.*

Response

The proposal does not include designated parking areas. Public Works currently parks in the driveway while maintaining the existing PS. The practice will continue for the foreseeable future.

B. Spaces Required.

- 1. All parking lots shall comply with the minimum requirements for handicapped parking spaces, as required by Washington State regulations related to barrier-free facilities.*
- 3. For all nonresidential uses or for special cases involving new residential developments, the required minimum parking amount shall be determined by the city. For determination by the city, the applicant shall supply:*
 - a. Documentation regarding actual parking demand for the proposed use; or*
 - b. Technical studies relating the parking need for the proposed use; or*
 - c. Required parking for the proposed use as determined by other comparable jurisdictions.*

Response

The proposal does not include designated parking areas. Consistent with subsection 17.22.110.A.3, if the city has concluded that the current pump station use has a parking deficiency, the existing parking deficit “*shall be allowed to continue even if a change of use occurs; provided, that in the judgment of the city the new use would not necessitate more parking spaces than the previous use.*” Therefore, additional parking spaces are not required.

Stormwater management 17.22.120

A. The city is required to manage stormwater runoff in accordance with the provisions of federal and state law and a National Pollutant Discharge Elimination System permit. As a result, the city has established a stormwater utility, adopted the Stormwater Manual for Western Washington prepared by the Washington State Department of Ecology, adopted local stormwater standards, and encourages the implementation of low impact design features.

- 1. For the applicable stormwater standards and requirements please refer to the Kelso Engineering Design Manual.*

Response

Stormwater from the replaced and created hard surfacings on site will be managed by sheet flowing runoff to the N 4th Avenue Right of Way where it will be collected by existing and proposed storm sewer collection infrastructure and conveyed offsite. Building roofs will be conveyed through gutters and roof downspouts to disperse overland or connect to the existing N 4th Ave. storm sewer system.

Created and replaced hard surfaces are anticipated to be above 2,000 square feet but below 5,000 square feet. Per the Kelso Engineering Design Manual, all created and replaced hard surfaces will be required to comply with Minimum Requirements #1-5 of the referenced Stormwater Manual. Compliance with Minimum Requirement #5 will be provided by sheet flow runoff to the Right of Way and from driveways and walkways and through roof downspout gutter connections to the existing stormwater system from the roof.

Geotechnical investigations completed in January 2022 indicate that groundwater is present as shallow as 2.4 feet below the ground surface adjacent to the site making infiltration based BMPs infeasible. Other site constraints, including limited landscaping areas, will make other LID BMPs such as sheet flow dispersion infeasible as well.

Variances, KMC 17.10.190

This section shall govern the issuance of variances for certain provisions of this title.

A. *A variance may be granted to the density, dimension, height, setback, and development standards; provided, that all other provisions of this title can be met.*

Response

The applicant proposes to vary from the required 20-foot front yard setback. The proposed Donation PS upgrade will take place in the same footprint of the existing pump station. The front yard setback deficiency is a preexisting condition. The pump station improvements cannot be moved further eastward due to steep slope constraints in the center and eastern portions of the property as well as the City's intent to use the existing below grade structure for pump station operation. Other than the front yard setback, the proposed pump station and force main projects meet the provisions of Title 17.

B. *Under no circumstances shall the city grant a variance to allow a use not permissible under the terms of this title in the zoning district involved, or any use expressly or by implication prohibited in the zoning district by the terms of this title.*

Response

The proposed front yard setback variance is consistent with the existing setback. The public facility use is a permitted use in the RSF-5 zone. The pump station is an essential public utility necessary to serve the residential zone in which it is located as well as other areas of the city. The proposed front yard setback dimension is not expressly or impliedly prohibited in the RSDF-5 zone.

C. *Variances may be approved by the city based on a finding that such variance will not be contrary to the public interest and the comprehensive plan or where literal enforcement of the provisions of this title would result in undue hardship. A variance shall not be granted unless the city further finds that the applicant has demonstrated all of the following:*

1. *That special circumstances applicable to the subject property, including size, shape, topography, location, or surroundings, do exist; and*

Response

The Donation PS is an existing public utility facility which serves the nearby zoning districts and uses encouraged by the Kelso Comprehensive Plan. The property, used for pump station use since the 1950s, is constrained by steep slopes to the east of the existing facility. To relocate the pump station further east would, in the opinion of GRI, a qualified geotechnical engineering firm, require additional geo-hazard analysis.

2. *That because of such special circumstances, strict application of this title would deprive the subject property of rights and privileges enjoyed by other properties in the vicinity under identical zoning district classification; and*

Response

The city of Kelso is the property owner. The Donation PS is an existing public facility approved, constructed, and maintained by the city. Denying the front yard setback variance to move the pump station 20 feet further east could result in adverse impacts to steep slopes and might entail significant site stabilization costs which could make the project infeasible. Such a result would be a substantial burden and potential loss of service for existing residences and uses that depend on the Donation PS.

3. *That the granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zoning district classification in which the property is situated; and*

Response

The Donation PS is an existing public utility facility which services the public consistent with the Kelso Comprehensive Plan. Upgrading the facility in its current location is beneficial to the public and not detrimental to their sanitary sewer service needs.

4. *That the special circumstances do not result from the actions of the applicant; and*

Response

Granting the front yard setback variance is unique to this property. There are no other properties in the area which the city has identified for potential pump station use. At the time the Donation pump station was constructed, the property was not zoned. The city proposes to use the existing disturbed area to minimize the impact of the pump station use.

5. *That the granting of a variance will be in harmony with the general purpose and intent of this title, the specific zoning district, and the comprehensive plan.*

Response

The Donation PS is an existing public utility facility which serves the nearby zoning districts and uses encouraged by the Kelso Comprehensive Plan. The future operation of the pump station is an essential element of the city's long range land use and engineering plans.

Critical Areas

The Cowlitz County EPIC web mapping system identifies the following potential critical areas on or near parcel 22455, as shown on the map below:

On-Site

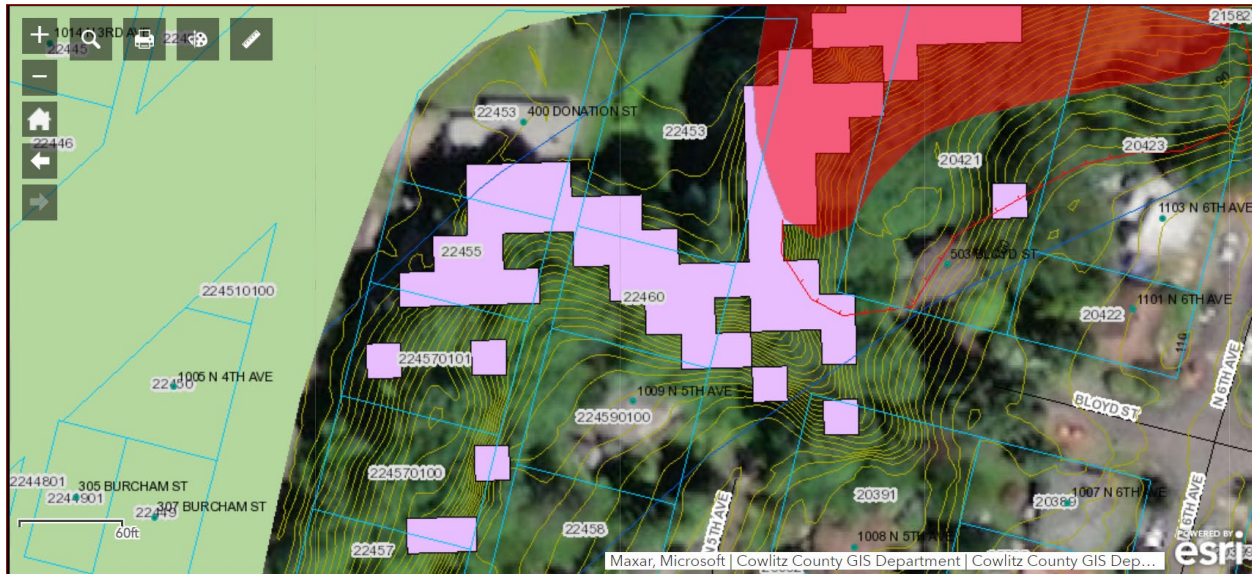
- Slopes 30% to 45% (pink)
- Two foot contours (yellow lines)
- Fish bearing riparian area (blue line running diagonally in western third of property)
- DAHP Archaeological predictive risk model – high²

Near the site

- Flood plain across N 4th Avenue (light green)
- Deep seated landslide and deep seated scarp Red color and red line to northeast)

There are no mapping indicators for wellhead protection zones, critical area aquifer recharge areas, wetlands or hydric soils, or shorelines on or adjacent to the site.

² The Donation PS is not listed as a City of Kelso or Washington State historic resource.



<https://cowlitz.maps.arcgis.com/apps/webappviewer/index.html?id=5f8bb5c362a449648606077d1fcbf764&query=EPIC%20Data,PARCNO,22455>

KMC 17.26 regulates critical areas.

Response

Fish and Wildlife Habitat Conservation Areas, KMC 17.26.060

Fish bearing stream are classified as “segments of natural waters which are not classified as Type S water and have fish, wildlife, or human use. These are segments of natural water and periodically inundated areas of their associated wetlands.” KMC 17.26. When development potentially impacts a fish bearing streams, a qualified fish and wildlife biologist should develop mitigation plans. KMC 17.26.060.B.

However, in this case, the city has determined that the stream identified on the EPIC web site was filled many decades ago as part of the city’s diking program. Consequently, the proposed upgrade of the existing Donation PS cannot adversely impact a stream or fish habitat which no longer exists.

Geological Hazard Areas, KMC 17.26.080

This section applies to erosion, landslide, and seismic hazards. The chapter exempts from permit review “*maintenance, repair, or replacement that does not expand the footprint area of utility facilities.*” KMC 17.26.080.A.2.a.v.H.

As shown on the Cowlitz County EPIC web mapping system, the areas of steep slopes are exclusively at the mid and rear of the property. The 2-foot contours, essentially flat areas, are located on the western portion of the site. The proposed upgrade of the Donation PS will occur essentially within the existing footprint or disturbed area of the property.

GRI, a qualified geotechnical engineering firm, conducted a site visit and completed a geotechnical slope assessment dated September 8, 2021, for this project. (See Exhibit B, W-1304A Geotechnical Slope Assessment) GRI conducted surface reconnaissance of the area on August 19, 2021, to visually observe the pump station, the slope along the east side of N 4 Avenue, and the slope area of N 4 Avenue between Harris Street and Columbia Street. GRI did not observe obvious indications of recent large-scale or deep-seated landslide movements such as new ground cracking, fresh scarps, or accumulations of recent landslide debris

around the pump station. Areas of major erosion, fault rupture, or other geological hazards were not observed during the reconnaissance.

GRI experts concluded, *“Given the new pump station will be constructed in essentially the same plan area footprint and no new walls or cuts are currently planned, it is our opinion the potential for steep slope hazards or landslide hazards to affect the proposed pump-station improvements is low. In our opinion, the risk of a seismically induced deep-seated landslide is low for a code-level earthquake.”* However, GRI cautioned that if new walls or cuts are required in the slope east of the pump station, additional geotechnical investigation and design for new retaining structures should be anticipated.

Because the replacement activity will occur essentially within the foot print of the existing PS disturbed area, which is not classified as a steep slope, a critical area permit is not required for the project as envisioned. However, if the project revisions necessitate impacting the steep sloped outside of the existing disturbed area, a critical area permit for geologic hazards may be required.

CONCLUSIONS

The Donation PS is a permitted use in the RSF-5 zone. Upgrading the pump station and the force main is consistent with the Kelso Comprehensive Plan, Wastewater Master Plan, and sound engineering principles. Improving the city’s sanitary waste collection system is essential to the public health and well-being. The applicant has demonstrated that the proposed upgrade of the pump station and force main is not only essential but is also consistent with Title 17 of the Kelso Municipal Code, except for the front yard setback.

Because the proposal will upgrade the existing pump station within essentially the same footprint and because of the slope constraint to the east of the facility, the applicant has demonstrated that granting the front yard setback variance is not only necessary, but it is also consistent with LMC 17.10.190 and is not detrimental to the public welfare.

For these reasons and more we ask the city of Kelso to approve the Donation pump station and force main upgrade proposal.

EXHIBIT A – KELSO APPLICATION DOCUMENTS

- MASTER LAND USE APPLICATION FORM
- ADMINISTRATIVE USE CHECKLIST
- VARIANCE CHECKLIST
- CRITICAL AREA CHECKLIST
- STATE ENVIRONMENTAL POLICY ACT (SEPA) CHECKLIST

EXHIBIT B – FIGURES

- 1. DONATION PS EXISTING CONDITIONS (1/5/22)
- 2. DONATION PS PROPOSED SITE PLAN (1/27/22)
- 3A & 3B DONATION PS PROPOSED ARCHITECTURAL ELEVATIONS (2/22)
- DONATION FORCE MAIN PLANS

EXHIBIT C – TECHNICAL REPORTS

- GEOTECHNICAL SLOPE ASSESSMENT
- DONATION PS SURVEY AND TITLE (6 FILES)

EXHIBIT B. FIGURES

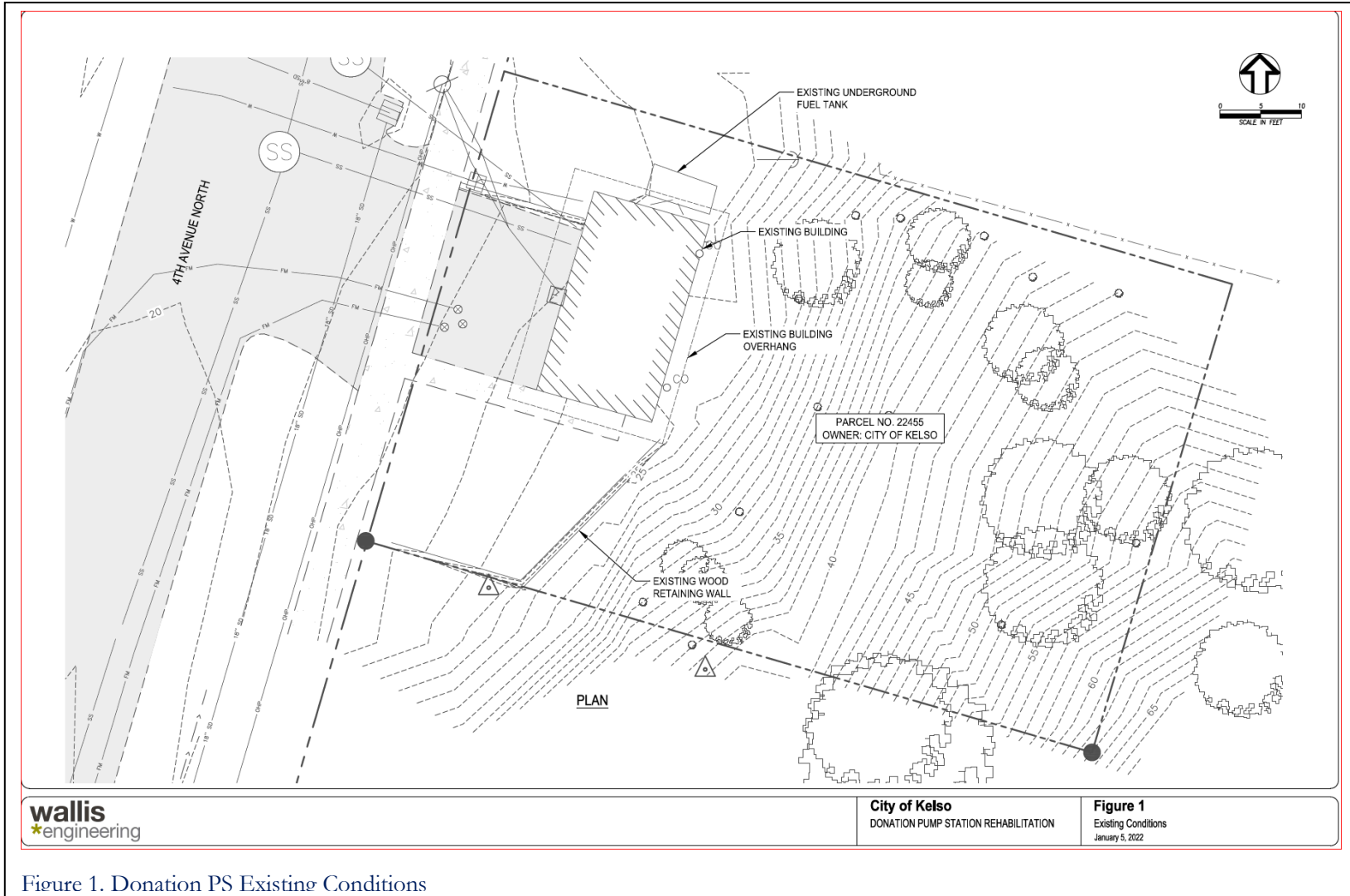


Figure 1. Donation PS Existing Conditions

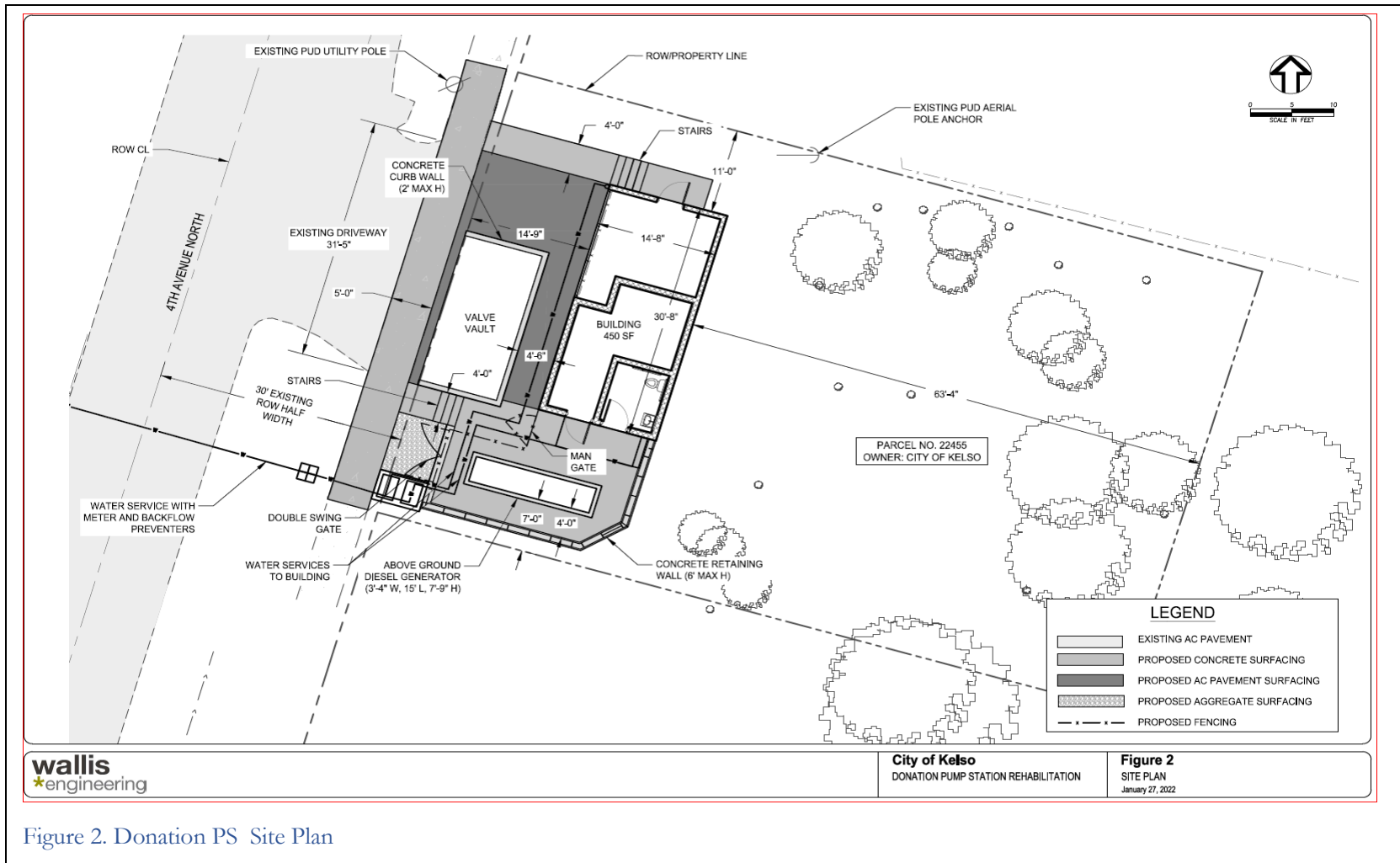
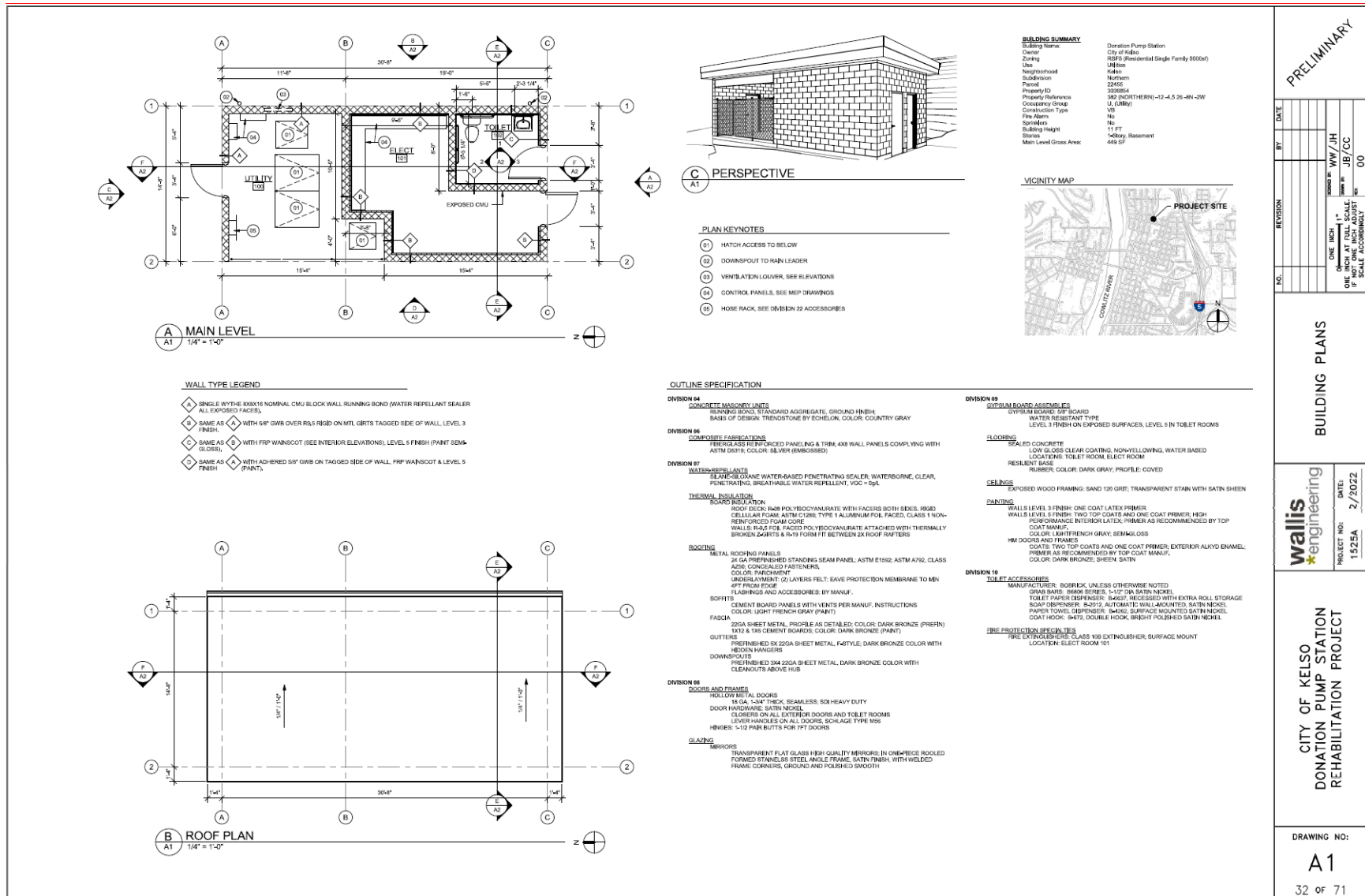
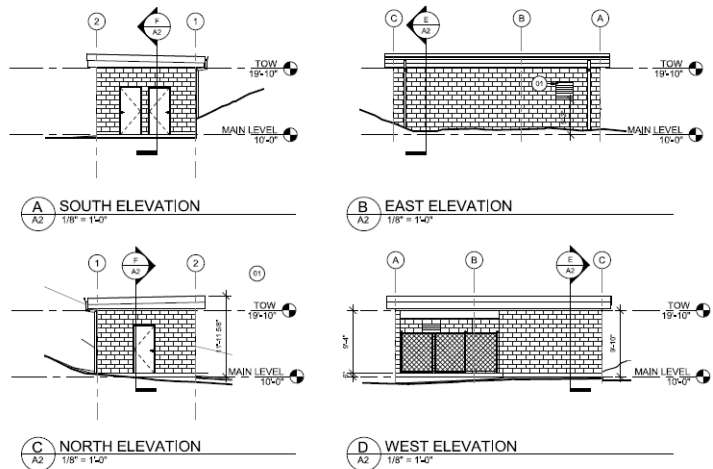


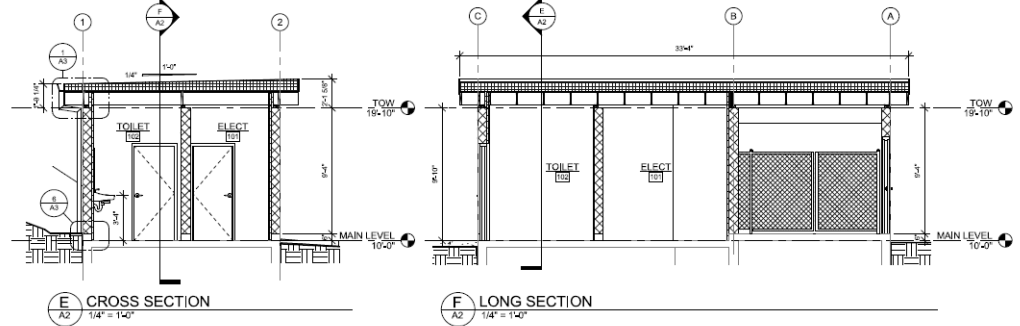
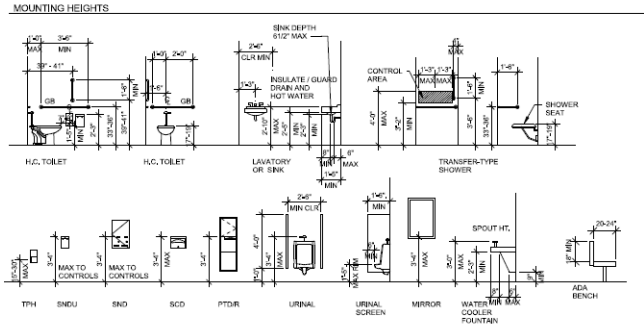
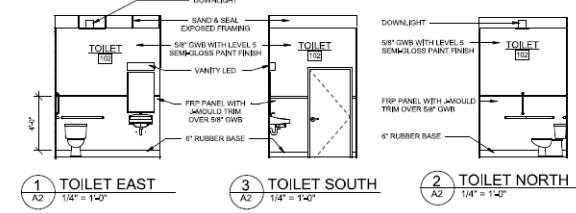
Figure 2. Donation PS Site Plan

Figures 3a and 3b, Architectural Elevations





ELEVATION KEYNOTES
 (V) VENTILATION LOUVER, SEE MECHANICAL.



PRELIMINARY

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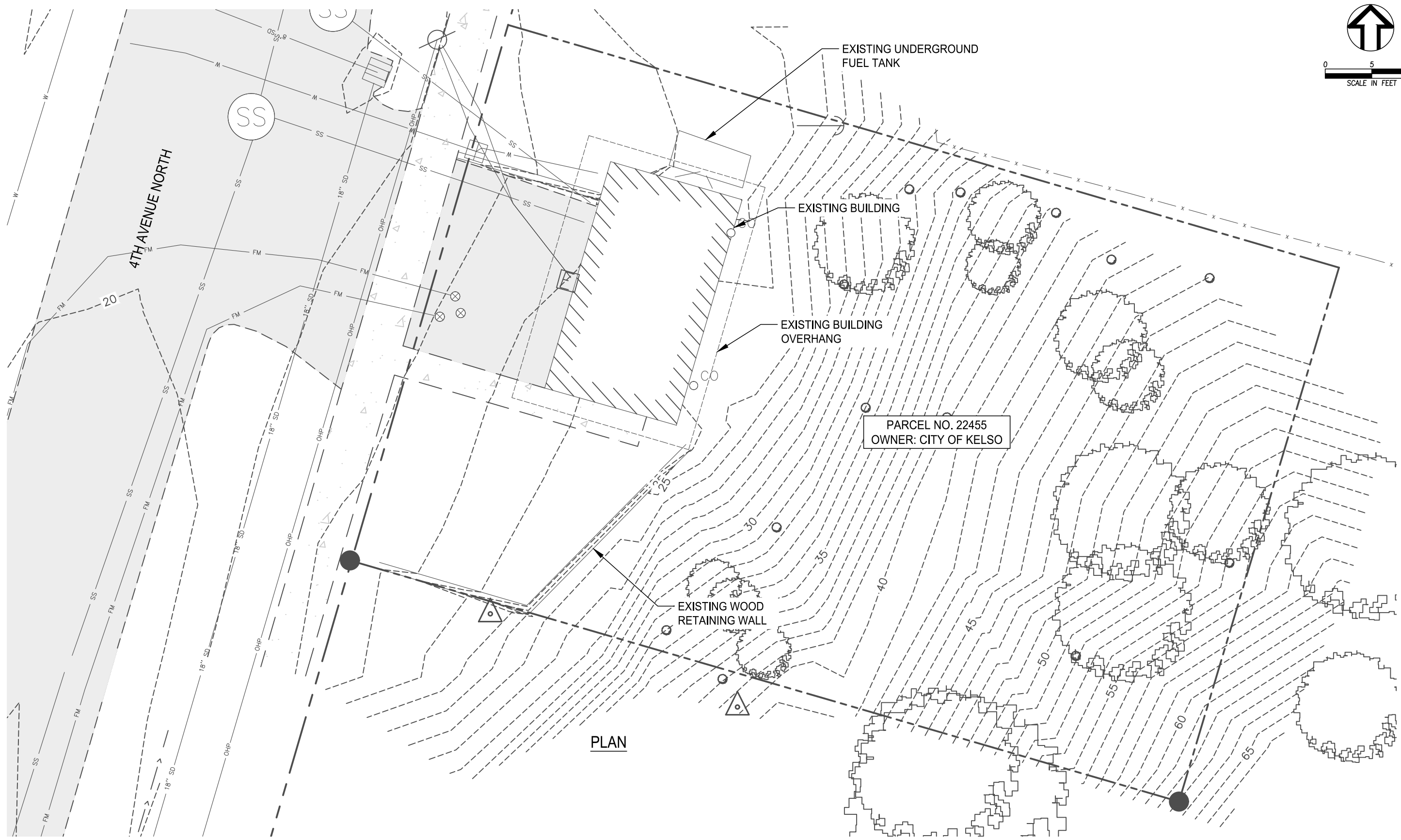
wallis engineering
 PROJECT NO: 1525A
 DATE: 2/2022

**CITY OF KELSO
 DONATION PUMP STATION
 REHABILITATION PROJECT**

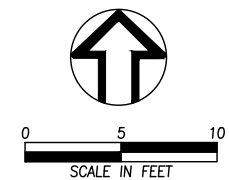
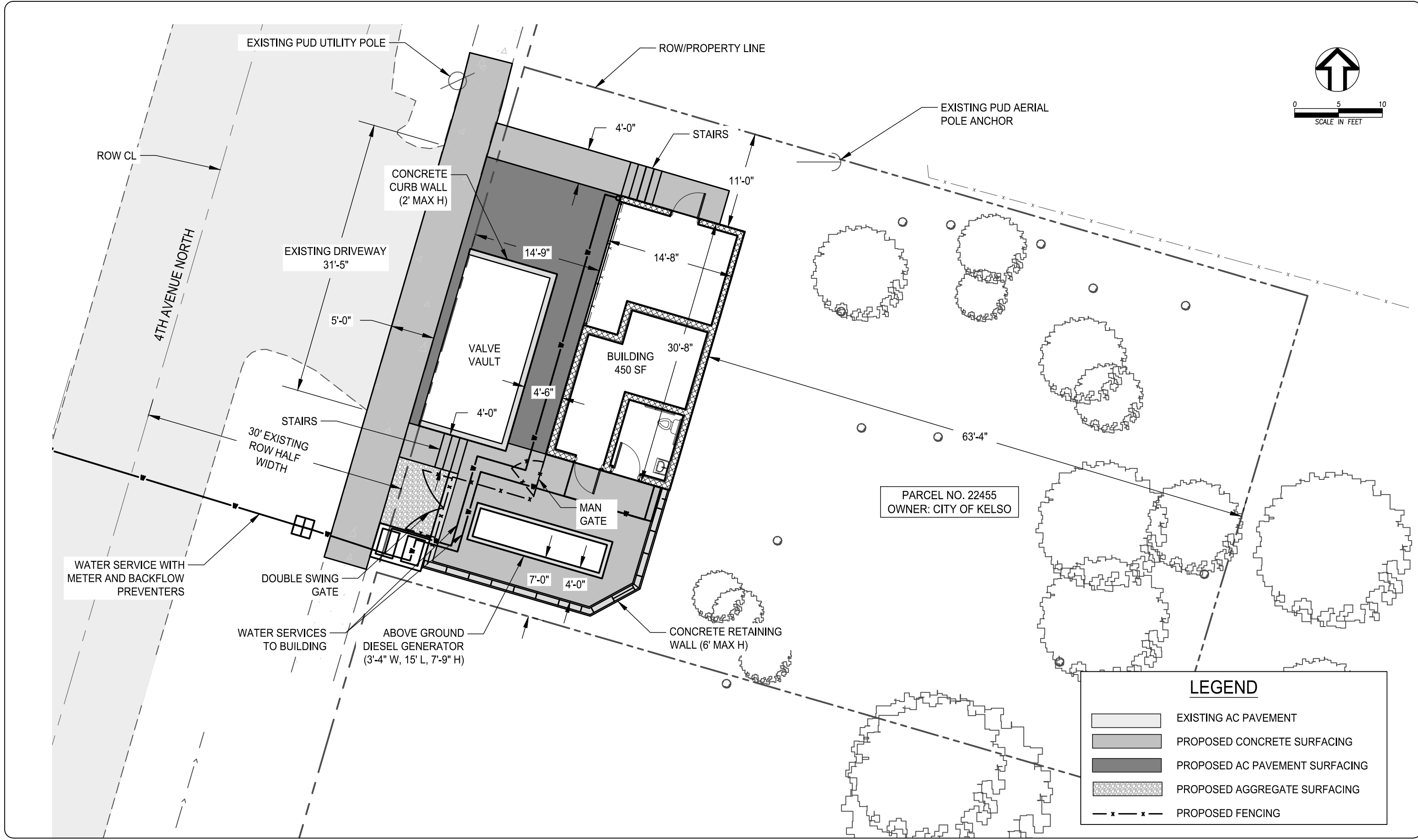
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PLAN



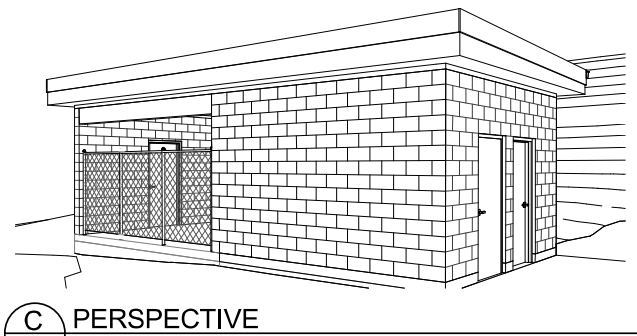
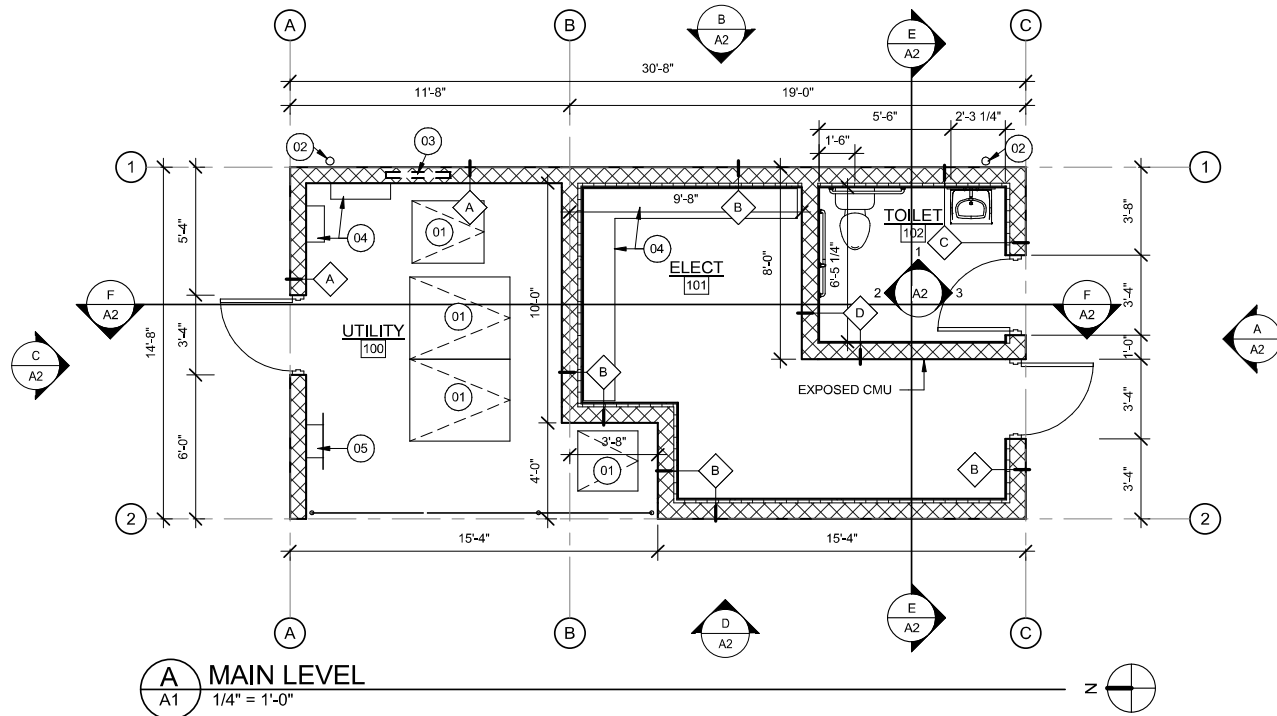
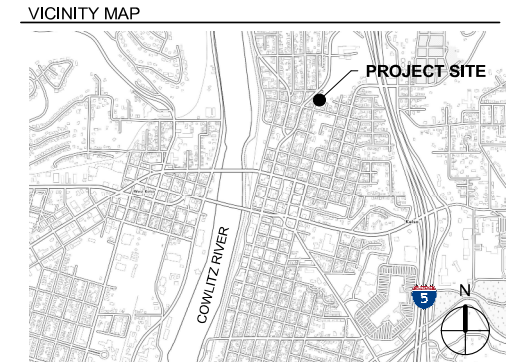
PARCEL NO. 22455
OWNER: CITY OF KELSO

LEGEND	
	EXISTING AC PAVEMENT
	PROPOSED CONCRETE SURFACING
	PROPOSED AC PAVEMENT SURFACING
	PROPOSED AGGREGATE SURFACING
	PROPOSED FENCING

P:\15\15254_Donation_Pump_Station_Rehabilitation\17272022_100102_AM_Civil_Kelso

PRELIMINARY

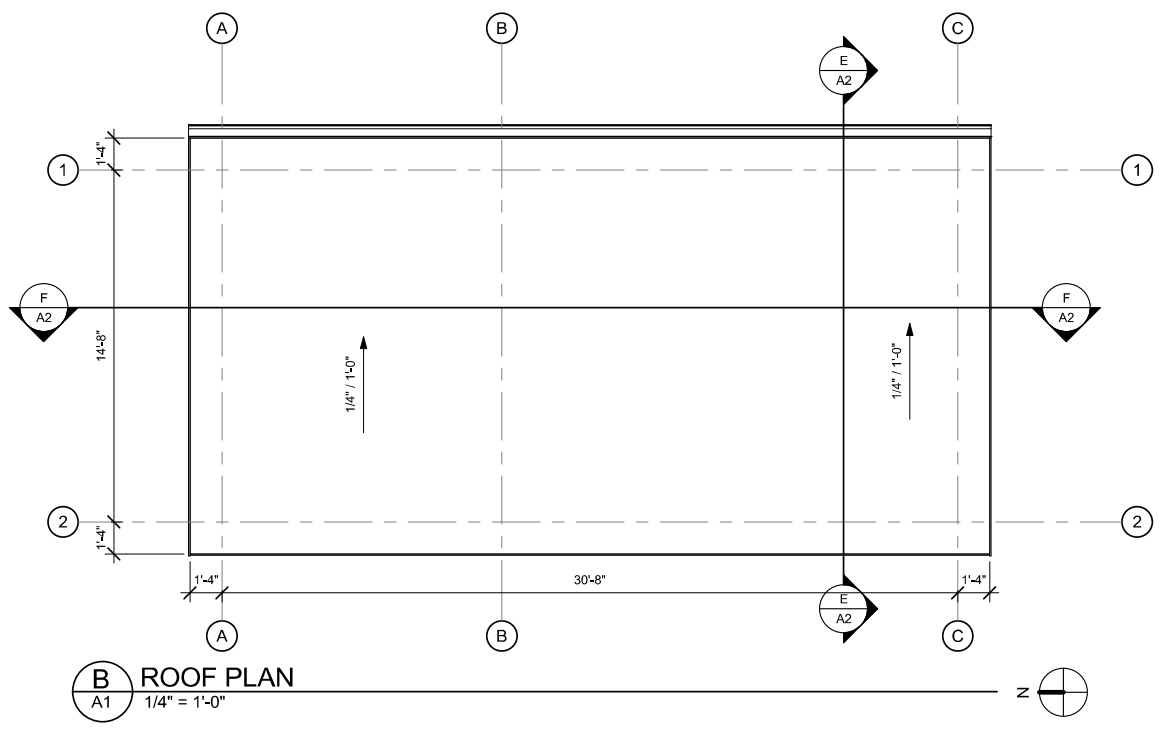
BUILDING SUMMARY	
Building Name:	Donation Pump Station
Owner:	City of Kelso
Zoning:	RSFS (Residential Single Family 5000sf)
Use:	Utilities
Neighborhood:	Kelso
Subdivision:	Northern
Parcel:	22455
Property ID:	3036854
Property Reference:	382 (NORTHERN) -12 -4.5 26 -8N -2W
Occupancy Group:	U (Utility)
Construction Type:	VB
Fire Alarm:	No
Sprinklers:	No
Building Height:	11 FT
Stories:	1-Story, Basement
Main Level Gross Area:	449 SF



- PLAN KEYNOTES**
- 01 HATCH ACCESS TO BELOW
 - 02 DOWNSPOUT TO RAIN LEADER
 - 03 VENTILATION LOUVER, SEE ELEVATIONS
 - 04 CONTROL PANELS, SEE MEP DRAWINGS
 - 05 HOSE RACK, SEE DIVISION 22 ACCESSORIES

- WALL TYPE LEGEND**
- A SINGLE WYTHE 8X8X16 NOMINAL CMU BLOCK WALL RUNNING BOND (WATER REPELLANT SEALER ALL EXPOSED FACES).
 - B SAME AS A WITH 5/8" GWB OVER R9.5 RIGID ON MTL GIRTS TAGGED SIDE OF WALL, LEVEL 3 FINISH.
 - C SAME AS B WITH FRP WAINSCOT (SEE INTERIOR ELEVATIONS), LEVEL 5 FINISH (PAINT SEMI-GLOSS).
 - D SAME AS A WITH ADHERED 5/8" GWB ON TAGGED SIDE OF WALL, FRP WAINSCOT & LEVEL 5 FINISH (PAINT).

- OUTLINE SPECIFICATION**
- DIVISION 04 CONCRETE MASONRY UNITS**
 RUNNING BOND, STANDARD AGGREGATE, GROUND FINISH;
 BASIS OF DESIGN: TRENDSSTONE BY ECHELON, COLOR: COUNTRY GRAY
- DIVISION 06 COMPOSITE FABRICATIONS**
 FIBERGLASS REINFORCED PANELING & TRIM; 4X8 WALL PANELS COMPLYING WITH ASTM D5319, COLOR: SILVER (EMBOSSED)
- DIVISION 07 WATER-REPELLANTS**
 SILANE-SILOXANE WATER-BASED PENETRATING SEALER, WATERBORNE, CLEAR, PENETRATING, BREATHABLE WATER REPELLENT, VOC = 0g/L
- THERMAL INSULATION BOARD INSULATION**
 ROOF DECK: R-38 POLYISOCYANURATE WITH FACERS BOTH SIDES, RIGID CELLULAR FOAM; ASTM C1289; TYPE 1 ALUMINUM FOIL FACED, CLASS 1 NON-REINFORCED FOAM CORE
 WALLS: R-9.5 FOIL FACED POLYISOCYANURATE ATTACHED WITH THERMALLY BROKEN Z-GIRTS & R-19 FORM FIT BETWEEN 2X ROOF RAFTERS
- ROOFING**
 METAL ROOFING PANELS
 24 GA PREFINISHED STANDING SEAM PANEL; ASTM E1592; ASTM A792, CLASS AZ50; CONCEALED FASTENERS.
 COLOR: PARCHMENT
 UNDERLAYMENT: (2) LAYERS FELT; EAVE PROTECTION MEMBRANE TO MIN 4FT FROM EDGE
 FLASHINGS AND ACCESSORIES: BY MANUF.
- SOFFITS**
 CEMENT BOARD PANELS WITH VENTS PER MANUF. INSTRUCTIONS
 COLOR: LIGHT FRENCH GRAY (PAINT)
- FASCIA**
 22GA SHEET METAL, PROFILE AS DETAILED; COLOR: DARK BRONZE (PREFIN)
 1X12 & 1X6 CEMENT BOARDS; COLOR: DARK BRONZE (PAINT)
- GUTTERS**
 PREFINISHED 5X 22GA SHEET METAL, F-STYLE; DARK BRONZE COLOR WITH HIDDEN HANGERS
- DOWNSPOUTS**
 PREFINISHED 3X4 22GA SHEET METAL, DARK BRONZE COLOR WITH CLEANOUTS ABOVE HUB
- DIVISION 08 DOORS AND FRAMES**
 HOLLOW METAL DOORS
 18 GA, 1-3/4" THICK, SEAMLESS; SDI HEAVY DUTY
 DOOR HARDWARE: SATIN NICKEL
 CLOSERS ON ALL EXTERIOR DOORS AND TOILET ROOMS
 LEVER HANDLES ON ALL DOORS, SCHLAGE TYPE M56
 HINGES: 1-1/2" PAIR BUTTS FOR 7FT DOORS
- GLAZING MIRRORS**
 TRANSPARENT FLAT GLASS HIGH QUALITY MIRRORS; IN ONE-PIECE ROOLED FORMED STAINLESS STEEL ANGLE FRAME, SATIN FINISH, WITH WELDED FRAME CORNERS, GROUND AND POLISHED SMOOTH
- DIVISION 09 GYPSUM BOARD ASSEMBLIES**
 GYPSUM BOARD: 5/8" BOARD
 WATER RESISTANT TYPE
 LEVEL 3 FINISH ON EXPOSED SURFACES, LEVEL 5 IN TOILET ROOMS
- FLOORING**
 SEALED CONCRETE
 LOW GLOSS CLEAR COATING, NON-YELLOWING, WATER BASED
 LOCATIONS: TOILET ROOM, ELECT ROOM
- RESILIENT BASE**
 RUBBER; COLOR: DARK GRAY; PROFILE: COVED
- CEILINGS**
 EXPOSED WOOD FRAMING: SAND 120 GRIT; TRANSPARENT STAIN WITH SATIN SHEEN
- PAINTING**
 WALLS LEVEL 3 FINISH: ONE COAT LATEX PRIMER
 WALLS LEVEL 5 FINISH: TWO TOP COATS AND ONE COAT PRIMER; HIGH PERFORMANCE INTERIOR LATEX; PRIMER AS RECOMMENDED BY TOP COAT MANUF.
 COLOR: LIGHTFRENCH GRAY; SEMI-GLOSS
 HM DOORS AND FRAMES
 COATS: TWO TOP COATS AND ONE COAT PRIMER; EXTERIOR ALKYD ENAMEL; PRIMER AS RECOMMENDED BY TOP COAT MANUF.
 COLOR: DARK BRONZE; SHEEN: SATIN
- DIVISION 10 TOILET ACCESSORIES**
 MANUFACTURER: BOBRICK, UNLESS OTHERWISE NOTED
 GRAB BARS: B6906 SERIES, 1-1/2" DIA SATIN NICKEL
 TOILET PAPER DISPENSER: B-6637, RECESSED WITH EXTRA ROLL STORAGE
 SOAP DISPENSER: B-2012, AUTOMATIC WALL-MOUNTED, SATIN NICKEL
 PAPER TOWEL DISPENSER: B-4262, SURFACE MOUNTED SATIN NICKEL
 COAT HOOK: B-672, DOUBLE HOOK, BRIGHT POLISHED SATIN NICKEL
- FIRE PROTECTION SPECIALTIES**
 FIRE EXTINGUISHERS: CLASS 10B EXTINGUISHER; SURFACE MOUNT
 LOCATION: ELECT ROOM 101



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BUILDING PLANS

wallis engineering
 PROJECT NO: 1525A
 DATE: 2/2022

CITY OF KELSO
DONATION PUMP STATION
REHABILITATION PROJECT

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PRELIMINARY

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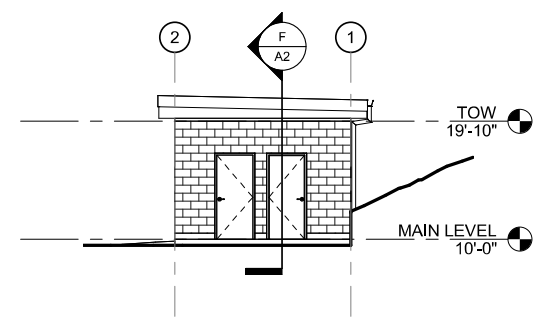
ELEVATIONS & SECTIONS

wallis engineering

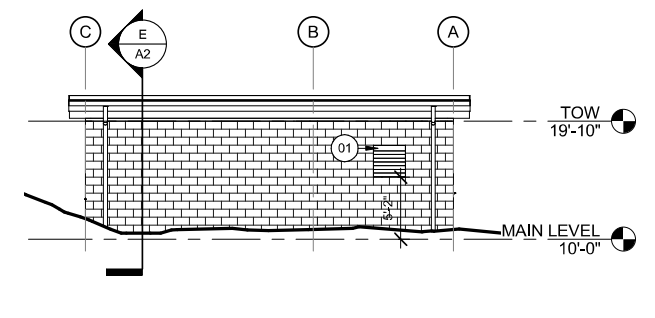
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 DONATION PUMP STATION
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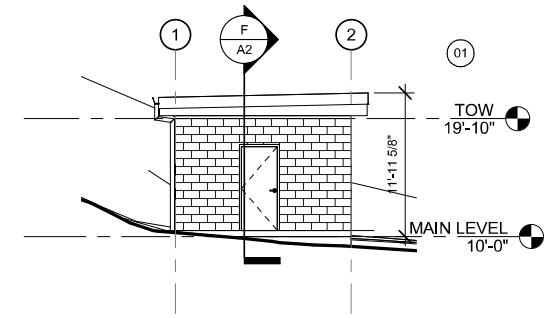
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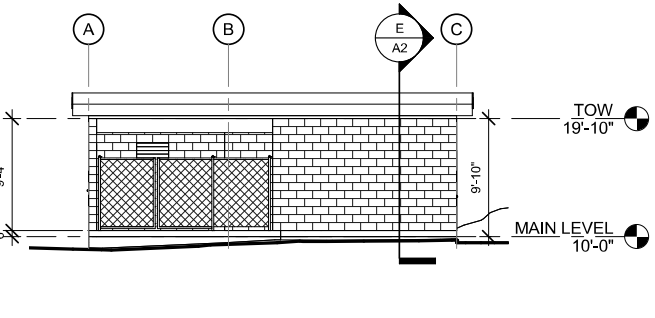
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B EAST ELEVATION
 A2 1/8" = 1'-0"



C NORTH ELEVATION
 A2 1/8" = 1'-0"

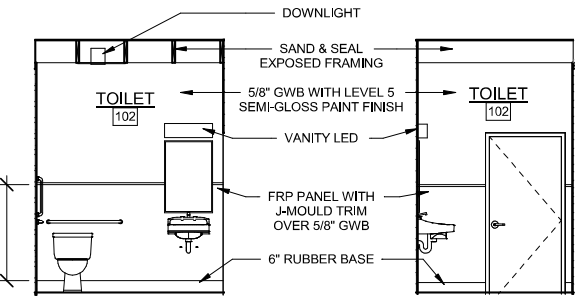
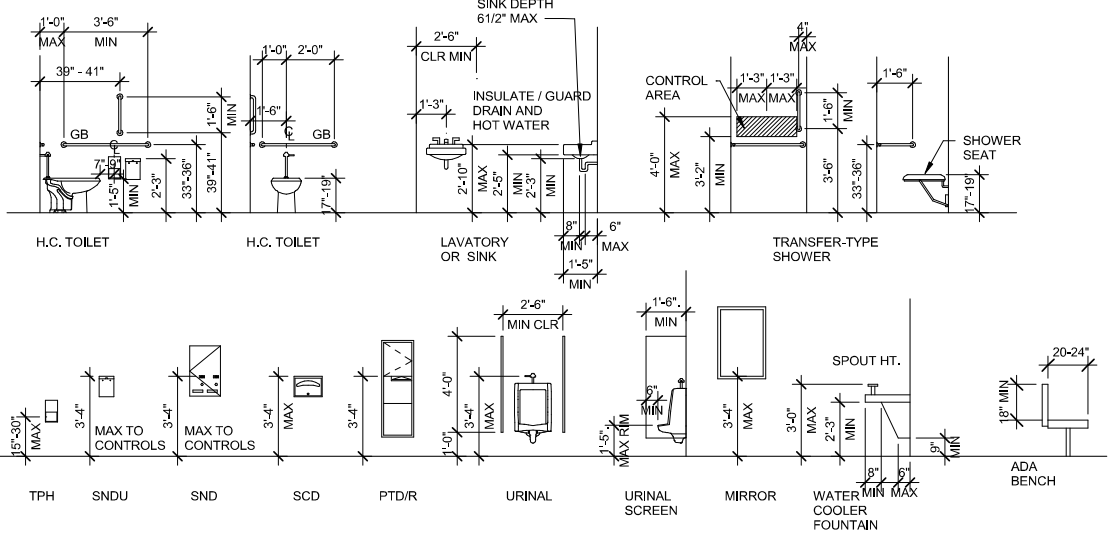


D WEST ELEVATION
 A2 1/8" = 1'-0"

ELEVATION KEYNOTES

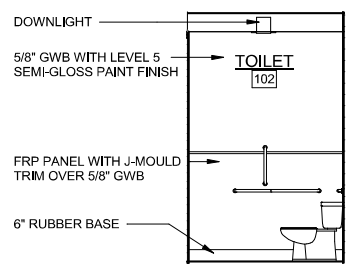
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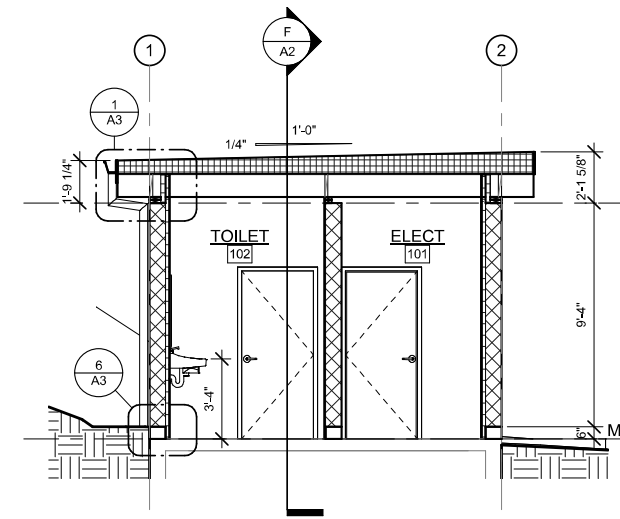


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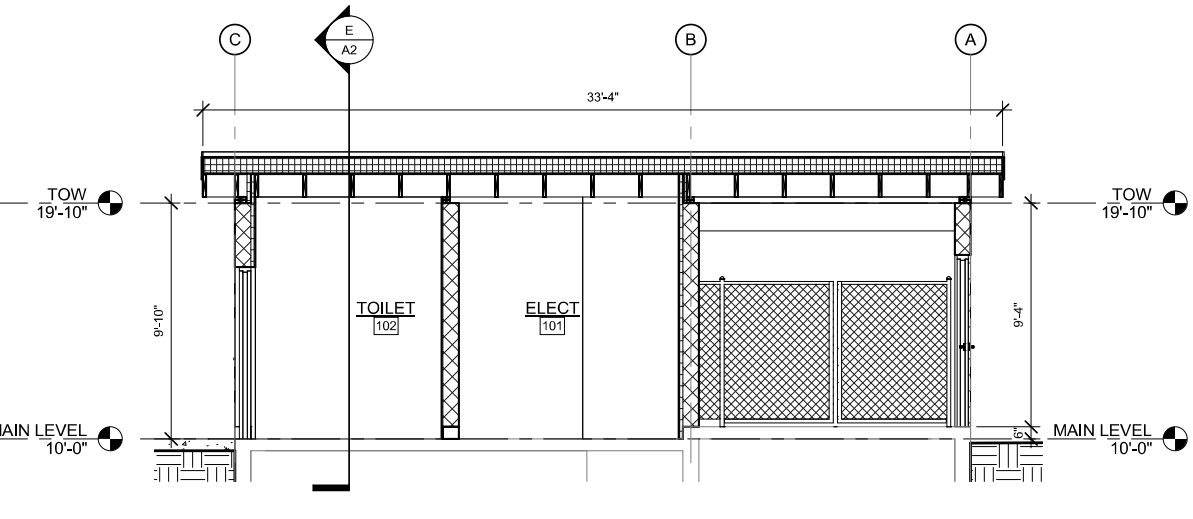
3 TOILET SOUTH
 A2 1/4" = 1'-0"



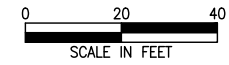
2 TOILET NORTH
 A2 1/4" = 1'-0"



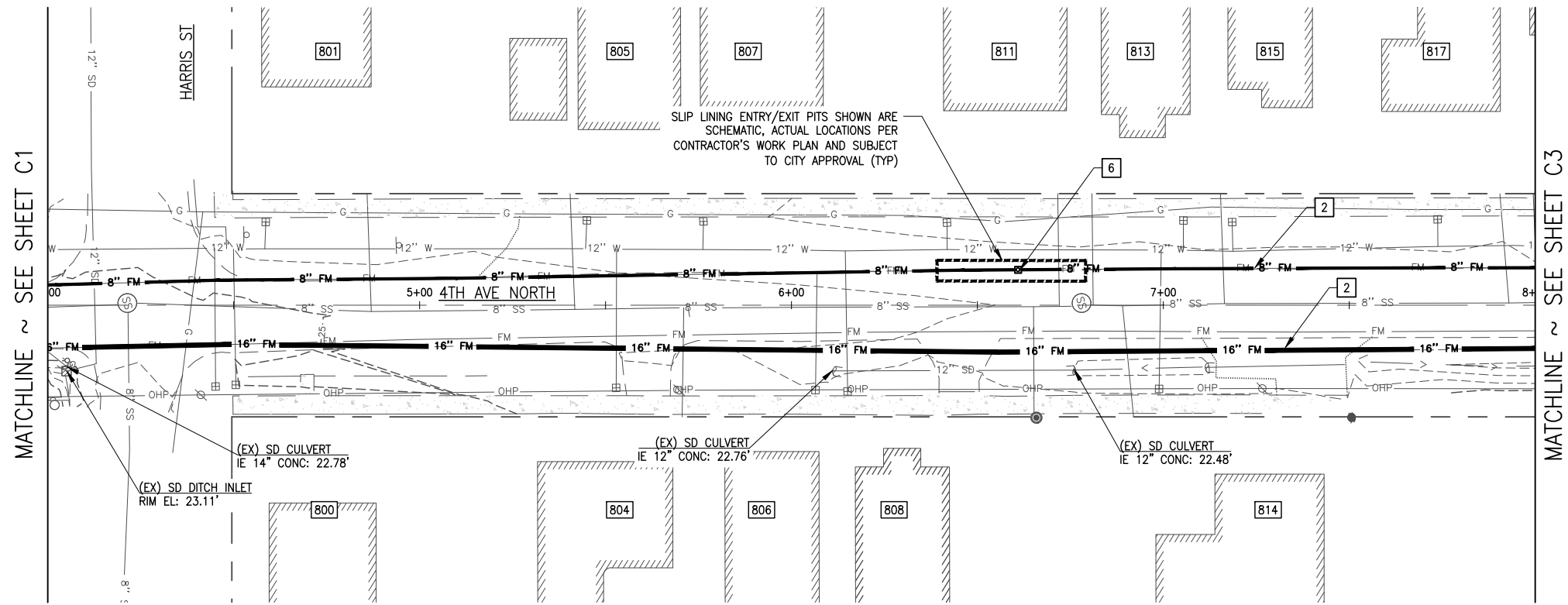
E CROSS SECTION
 A2 1/4" = 1'-0"



F LONG SECTION
 A2 1/4" = 1'-0"



PRELIMINARY



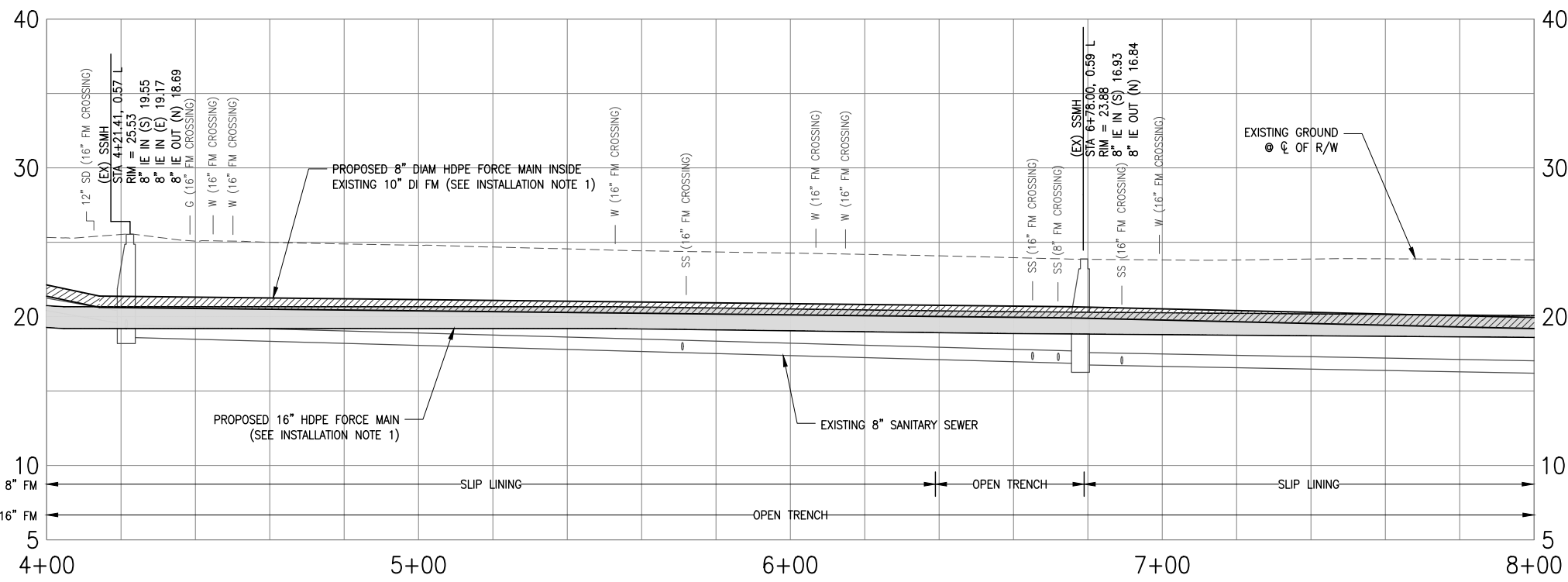
PLAN

INSTALLATION NOTES

1. INSTALL NEW FORCE MAIN VIA CONSTRUCTION METHODS NOTED ON BOTTOM OF PROFILE.
2. UTILITY CROSSING LOCATIONS SHOWN IN THE PROFILE REFER ONLY TO CROSSINGS OF PROPOSED FORCE MAINS CONSTRUCTED VIA OPEN TRENCH METHODS.

FORCE MAIN CONSTRUCTION NOTES

2. INSTALL NEW FORCE MAIN OF SIZE AND MATERIAL NOTED CONTRACTOR TO SUBMIT WORK PHASING PLAN PER THE SPECIFICATIONS.
6. INSTALL LOCATE STATION PER DETAIL, SHEET D6.



PROFILE
SCALE: 1" = 20' HORIZ
1" = 5' VERT

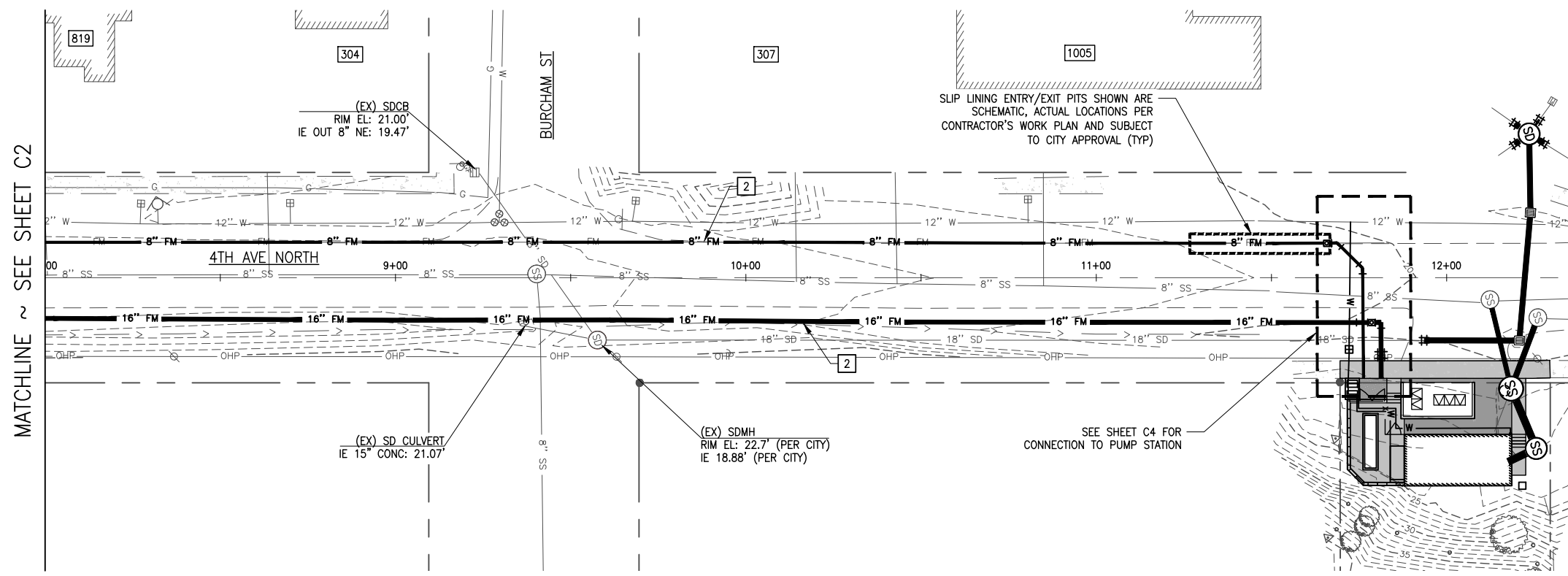
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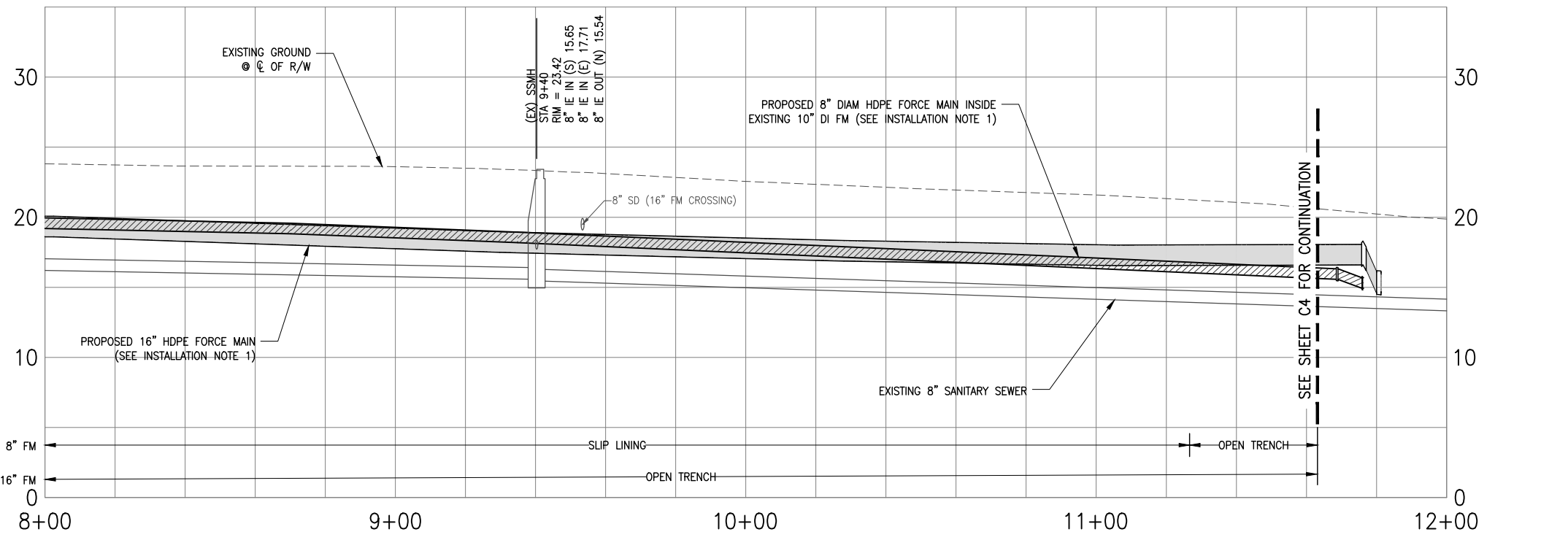
wallis engineering
PROJECT NO: 1525A DATE: 2/2022

CITY OF KELSO
DONATION PUMP STATION
REHABILITATION PROJECT

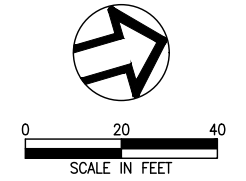
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PLAN



PROFILE
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1" = 5' VERT



INSTALLATION NOTES

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2. UTILITY CROSSING LOCATIONS SHOWN IN THE PROFILE REFER ONLY TO CROSSINGS OF PROPOSED FORCE MAINS CONSTRUCTED VIA OPEN TRENCH METHODS.

FORCE MAIN CONSTRUCTION NOTES

2. INSTALL NEW FORCE MAIN OF SIZE AND MATERIAL NOTED CONTRACTOR TO SUBMIT WORK PHASING PLAN PER THE SPECIFICATIONS.

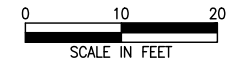
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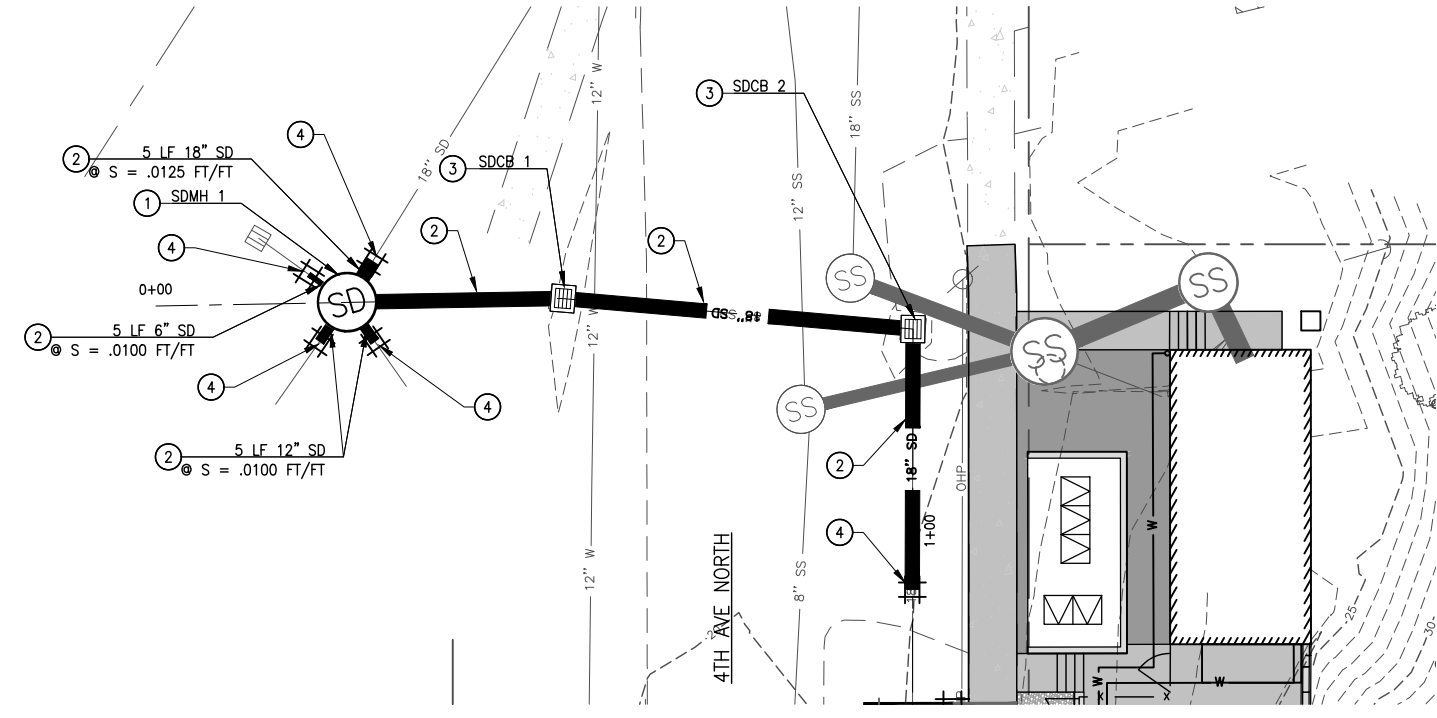
SANITARY FORCE MAIN
PLAN & PROFILE STA
8+00 TO STA 12+00

wallis engineering
PROJECT NO: 1525A
DATE: 2/2022

CITY OF KELSO
DONATION PUMP STATION
REHABILITATION PROJECT



PRELIMINARY



STORM SEWER PLAN

STORM SEWER CONSTRUCTION NOTES

- ① REMOVE EXISTING MANHOLE AND INSTALL 60" TYPE 3 MANHOLE PER WSDOT STANDARD PLAN B-15.60-02, SHEET D3.
- ② INSTALL NEW STORM PIPE OF SIZE AND MATERIAL NOTED.
- ③ INSTALL TYPE 1L CATCH BASIN PER WSDOT STANDARD PLAN B-5.40-02, SHEET D2.
- ④ CONNECT TO EXISTING STORM PIPE WITH APPROVED COUPLING. CONTRACTOR TO POTHOLE EXISTING STORM SEWERS TO CONFIRM SIZE, MATERIAL AND SLOPE PRIOR TO ORDERING AND CORING STRUCTURE.

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DESIGNED BY: WW/JH
 DRAWN BY: CK/JH
 REVISION: XX

0" = 1" AT FULL SCALE.
 1" = 1" AT FULL SCALE.
 IF NOT ONE INCH ADJUST SCALE ACCORDINGLY

STORM SEWER PLAN & PROFILE

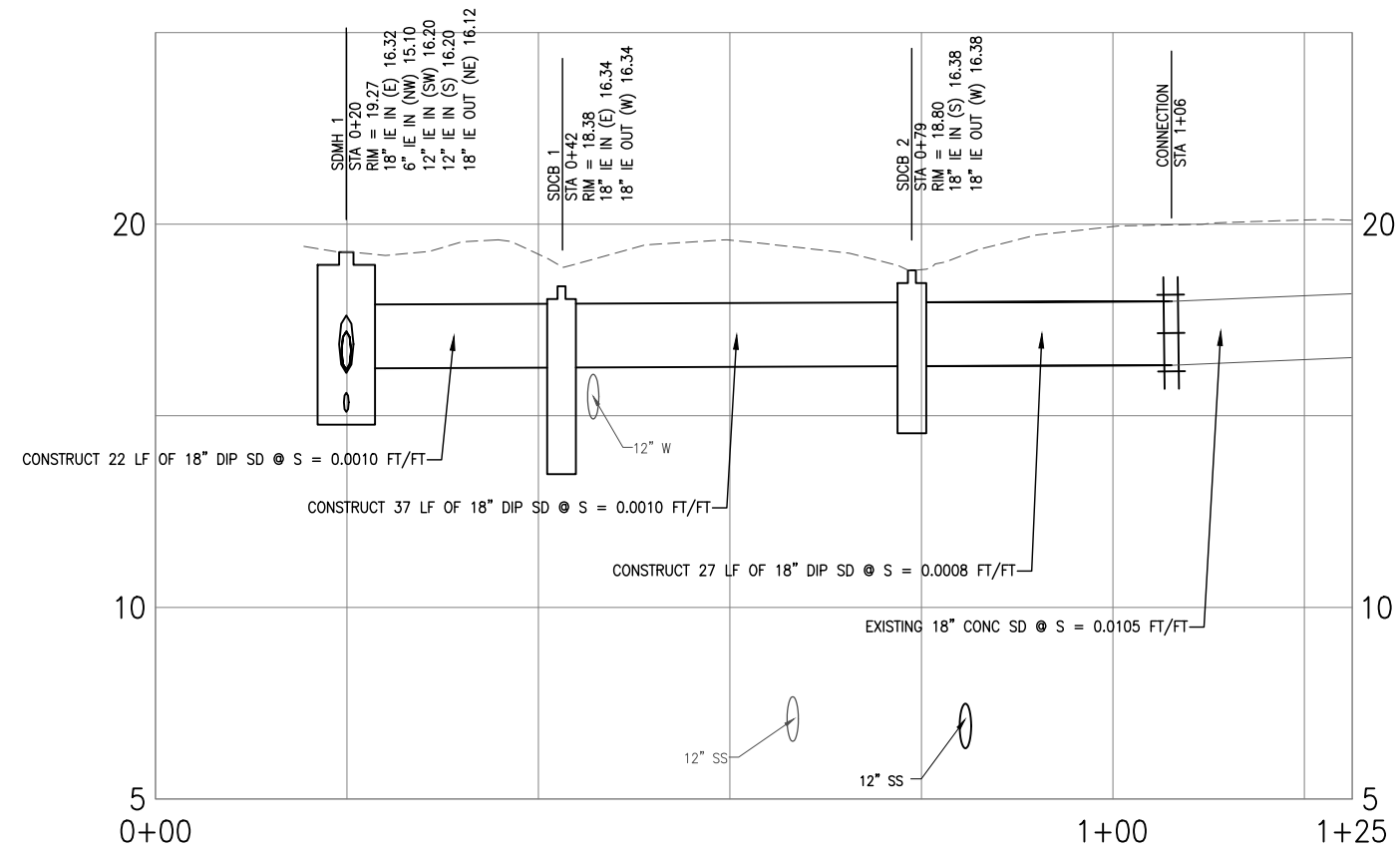
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PROJECT NO: 1525A
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CITY OF KELSO
 DONATION PUMP STATION
 REHABILITATION PROJECT

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STORM SEWER PROFILE

SCALE: 1" = 10' HORIZ
 1" = 2.5' VERT



MEMORANDUM

To: Wes Wegner / Wallis Engineering, PLLC

Date: September 8, 2021

GRI Project No.: W1304-A

From: Matt Shanahan, PE; and George Freitag, LEG, LHG

Re: Geotechnical Slope Assessment
Donation Pump Station Upgrade
Kelso, Washington

DRAFT

At the request of Wallis Engineering, PLLC (Wallis), GRI completed a geotechnical slope assessment for the above-referenced project in Kelso, Washington. The project is being designed by Wallis and will include improvements to the existing City of Kelso (City) sewer pump station and associated force main improvements. The Vicinity Map, Figure 1, shows the general location of the site, the pump station, and force main improvements along N 4th Avenue.

Our work was completed in general accordance with Consultant Services Agreement with Wallis dated July 13, 2021, and included the following tasks:

- Reviewed available geologic information with regard to conceptual plans.
- Completed a ground-level reconnaissance of the site to document surface features.
- Prepared conclusions and recommendations concerning the static and seismic stability of the existing slopes with respect to the conceptual project plans.
- Prepared this summary memorandum.

BACKGROUND AND CONCEPTUAL PLANS

The Donation pump station was originally built around 1950. The pump station equipment was removed and replaced in 1975. The existing pump station is a wet well/dry well configuration and consists of a 25-foot by 15-foot below-grade concrete structure with an above-ground masonry-walled building. The structure extends approximately 23.5 feet below ground level. The structure is split approximately in half, with one half used as the wet well and the other half used as the dry well. The dry well houses the pumps, motors, valves, and ancillary equipment. The electrical and control panels are located above the ground floor of the structure with the existing emergency diesel-fueled generator. The pump station operates continuously during heavy rains because of known inflow and infiltration problems in North Kelso. We understand the current project design will rehabilitate or replace the existing pump station in essentially the same plan area footprint.

A replacement sewer force main will be installed in N 4th Avenue on a relatively steep slope just south of Harris Street. The new main will extend up the slope through an undeveloped area to where N 4th Avenue stops north of Columbia Street.

SITE DESCRIPTION

Topography

The project site is located along the east side of the Cowlitz River drainage. Elevations range from about 20 feet at the pump station to about 25 feet near Harris Street (World Geodetic System of 1984 [WGS 84]). The pump station is situated at the base of an approximately 50-foot-high north-south slope that ascends east to about elevation 70 feet. The ground slopes upward to the south at Harris Street to about elevation 75 feet near Columbia Street. The total slope height south of the terminus of N 4th Avenue is about 50 feet.

Geology and Groundwater

Geologic mapping at the scale of 1:100,000 shows the west-facing slope on the east side of N 4th Avenue and the north-facing slope between Columbia Street and Harris Street are underlain by fine-grained Paleogene sedimentary marine rocks of the Cowlitz Formation (Washington Department of Natural Resources [DNR], 2021). However, our observations of the slope east of the pump station during our site reconnaissance showed abundant near-surface gravel and cobbles, which we interpret as the Troutdale Formation. The upper surface of the Troutdale Formation in the Kelso area can be weathered/decomposed and locally is prone to landslides following periods of prolonged, intense precipitation.

The pump station site is likely underlain by recent alluvial sand and gravel of the Cowlitz River drainage. At the pump station, year-round groundwater is likely within about 10 feet of the ground surface and coincides with Cowlitz River levels.

No outcrops of rock were observed along the sloped area of the new N 4th Avenue force main. Geologic maps show the sloped area underlain by Cowlitz Formation sedimentary rock. We anticipate perched-groundwater conditions may develop within the upper several feet of the force main route from seasonal precipitation. The perched groundwater may approach the ground surface during periods of heavy or prolonged rainfall.

HAZARDS EVALUATION

Landslides

Published landslide mapping of the area was reviewed (Washington DNR, 2021). Two landslides are mapped in the project area on the west-facing slope east of the pump station, see Figure 2 below.

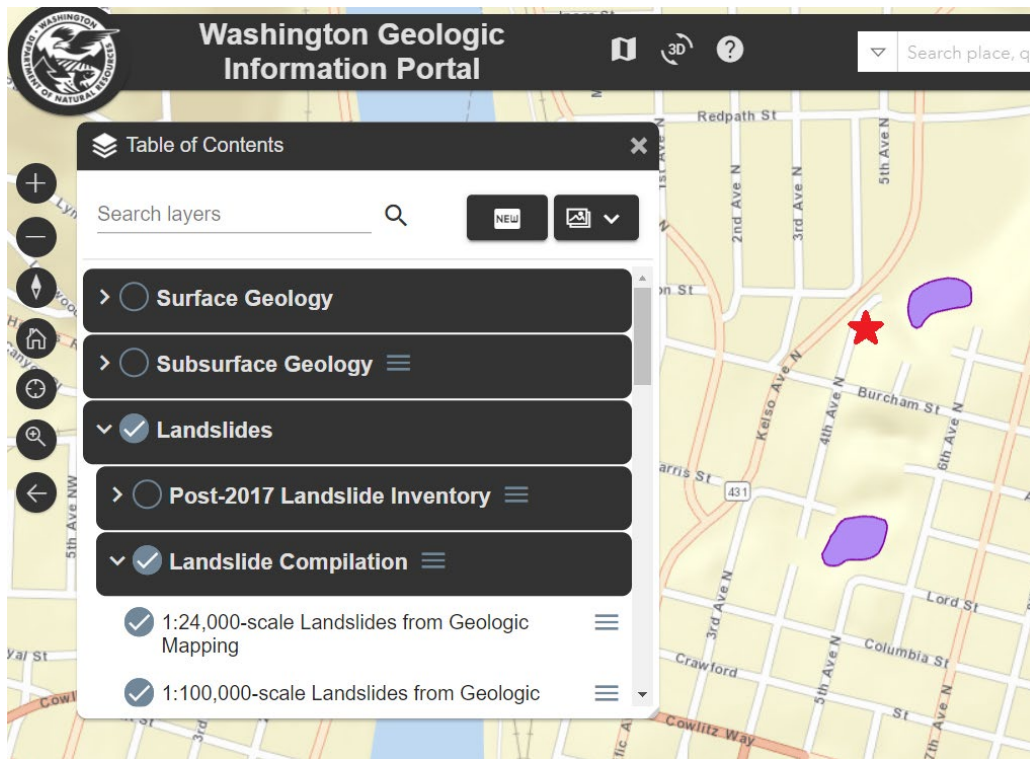


Figure 2: Landslide Map from Washington DNR

Note: Red Star = Donation Pump Station; Purple Polygon = Landslide.

During the site reconnaissance, GRI inquired with a City representative working at the pump station about knowledge of area slope instability. The representative indicated there was a landslide in the past 10 years or 15 years along the west-facing slope about 200 feet south of the pump station near Burcham Street. Wallis staff subsequently inquired with other City staff, who provided photographs of a landslide that occurred in January 2009. Several hundred yards of soil and tree debris failed, crossed the N 4th Avenue roadway, and struck a residence. A photograph of the landslide is shown on Figure 3. City staff did not have anecdotal information about other

landslides or documented slope instability near the pump station or the N 4th Avenue slope for the new force main.



Figure 2: Photograph of January 2009 Landslide

Note: East side of N 4th Avenue at Burcham Street.

Lidar data collected in 2019 was reviewed for the project area on the Washington DNR Lidar Portal (2021), see Figure 4. The data show that the west-facing slopes east of the pump station and the slopes along N 4th Avenue for the new force main between Harris Street and Columbia Street are irregular and hummocky, which is suggestive of past slope instability and surficial erosion processes.

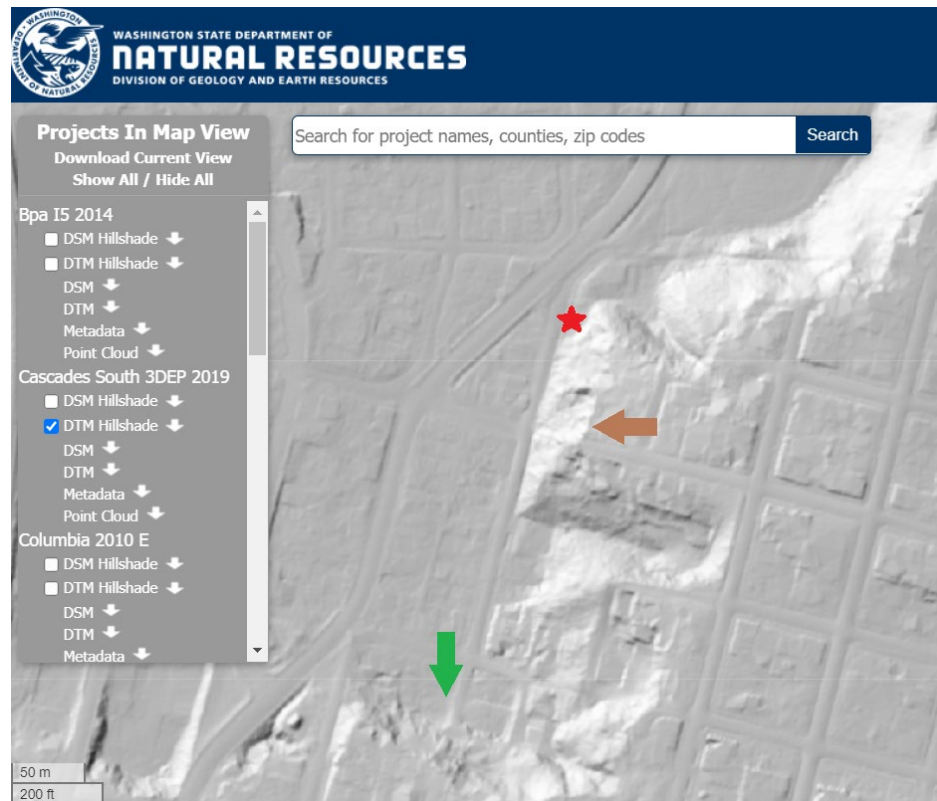


Figure 4: Lidar Map from Washington DNR.

Red Star = Donation Pump Station; Brown Arrow = January 2009 landslide; Green Arrow = Slope along N 4th Avenue for the new force main.

Seismic Liquefaction

Seismic hazard mapping of the site and area was reviewed (Washington DNR, 2021). The pump station site is situated on alluvial soils of the Cowlitz River drainage that have moderate to high liquefaction susceptibility during a seismic event. Liquefaction can result in foundation settlement and downdrag load on embedded structures.

The west- and north-facing slopes are underlain by sedimentary or volcanic rock, likely with a thin cover of weathered/decomposed rock that is more soil like. These soils and rock have little to no potential for liquefaction during a seismic event.

Seismic Fault Rupture

U.S. Geological Survey Quaternary fault mapping of the site and surrounding area was reviewed (U.S. Geological Survey, 2021). The maps do not show active or potentially active faults at or adjacent to the site that could be capable of producing surface rupture due to a seismic event.

SITE RECONNAISSANCE

A Washington professional engineer and licensed engineering geologist from GRI conducted a surface reconnaissance of the area on August 19, 2021, to visually observe the pump station, the slope along the east side of N 4 Avenue, and the slope area of N 4 Avenue between Harris Street and Columbia Street.

GRI did not observe obvious indications of recent large-scale or deep-seated landslide movements such as new ground cracking, fresh scarps, or accumulations of recent landslide debris around the pump station or in the pavement or curbs at the foot of N 4 Avenue north of Columbia Street. Topography indicative of older landslide processes was observed east and upslope of the pump station. A remnant accumulation of landslide debris from the January 2009 event was observed on the northwestern corner of Burnham Street and N 4 Avenue. Observation of the slope east of the pump station showed abundant near-surface gravel and cobbles, which we interpret as the Troutdale Formation. Areas of major erosion, fault rupture, or other geological hazards were not observed during the reconnaissance.

CONCLUSIONS AND RECOMMENDATIONS

The following conclusions and recommendations are based on the work completed for this evaluation:

- 1) The west-facing slope south of the pump station was the location of a landslide in January 2009. The slope conditions along the slope east (above) the pump station and Lidar data show surficial evidence suggestive of past instability. Given the new pump station will be constructed in essentially the same plan area footprint and no new walls or cuts are currently planned, it is our opinion the potential for steep slope hazards or landslide hazards to affect the proposed pump-station improvements is low. If new walls or cuts are required in the slope east of the pump station, additional geotechnical investigation and design for new retaining structures should be anticipated. In our opinion, the risk of a seismically induced deep-seated landslide is low for a code-level earthquake.
- 2) According to geologic mapping, the pump station site is located on alluvial soils. These soils have moderate to high potential for liquefaction below groundwater level. The proposed improvements are not anticipated to significantly alter the seismic shaking or liquefaction potential at the site. Evaluation of the impacts of seismic hazards on the existing pump station would require further investigation and analysis.
- 3) The new force main on the slope between Harris Street and Columbia Street is located in an area of sedimentary or volcanic rock, likely with a thin (less than 10 feet thick) cover of weathered/decomposed rock that is more soil-like. This soil-like material appears to have some potential for shallow slope instability based on Lidar data. These soils and rock have

little to no potential for liquefaction. The proposed force main improvements are not anticipated to significantly alter the seismic shaking or liquefaction potential at the site. Rock excavation may be required for installation of the force main.

- 4) Based on the absence of active or potentially active faults that could be capable of inducing surface rupture at the site, and the absence of potential fault-related features observed during the reconnaissance, it is our opinion the risk of seismically related fault rupture that could affect the planned improvements or adjacent areas is low unless occurring on an unmapped fault.
- 5) Given our overall evaluation of site geological conditions, it is our opinion the proposed pump station and force main work will not increase the risk of damage from potential geological hazards at the site or adjacent areas.

LIMITATIONS

The purpose of this memorandum is to assist Wallis Engineering, PLLC and the City with respect to understanding geotechnical risk associated with the planned pump station and force main improvements. The scope is limited to the specific project and location described herein. Our description of the project represents our understanding of the significant aspects of the project relevant to the design and construction of the planned improvements. If any changes in the design and location of the improvements as outlined in this memorandum are planned, we should be given the opportunity to review the changes and modify or reaffirm the conclusions of this memorandum in writing. No warranty is provided.

Please contact the undersigned if you have any questions.

Submitted for GRI,

Matthew S. Shanahan, PE
Principal

George A. Freitag, LEG, LHG
Principal

Attachments: Vicinity Map, Figure 1

This document has been submitted electronically.

References

U.S. Geological Survey, 2021, Quaternary fault and fold database for the United States, accessed August 30, 2021, from USGS web site: <http://earthquake.usgs.gov/hazards/qfaults/map/>.

Washington Department of Natural Resources (DNR), 2021, Geologic Information Portal, Surface Geology, Landslides, Earthquakes, <https://geologyportal.dnr.wa.gov>.

Washington DNR, 2021, Washington Lidar Portal, <https://lidarportal.dnr.wa.gov>.

W1304-A GEOTECHNICAL SLOPE ASSESSMENT



Maxar, Microsoft

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WALLIS ENGINEERING, INC.
 GEOTECHNICAL SLOPE ASSESSMENT
 DONATION PUMP STATION UPGRADE
 KELSO, WASHINGTON

VICINITY MAP

ALTA COMMITMENT FOR TITLE INSURANCE

Issued By agent:



Commitment Number:

612879112

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, Fidelity National Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within one hundred eighty (180) days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Fidelity National Title Insurance Company

By:

Randy Quirk, President

Attest:

Marjorie Nemzura, Secretary

Countersigned By:

Authorized Officer or Agent

Matthew London

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Transaction Identification Data for reference only:

ISSUING OFFICE:	FOR SETTLEMENT INQUIRIES, CONTACT:
Title Officer: Luke Bennier Fidelity National Title Company of Washington, Inc. 1700 Hudson Street, Suite 201 Longview, WA 98632 Phone: 360-624-1046 Fax: 877-675-5393 Main Phone: 360-828-3000 Email: Luke.Bennier@fnf.com	Escrow Officer: Christofer Sherby, PLS S&F Land Services 400 E. Evergreen Boulevard, Suite. 1 Vancouver, WA 98660 Phone: (503)345-0328 Fax: (503)345-0328 Main Phone: (503)345-0328 Email: chris.sherby@sflands.com

Order Number: 612879112

SCHEDULE A

1. Commitment Date: August 25, 2021 at 08:00 AM
2. Policy to be issued:
 - (a) ALTA Owner's Policy 2006
Proposed Insured: Purchaser with contractual rights under a purchase agreement with the vested owner identified at Item 4 below.
Proposed Policy Amount: \$10,000.00
Premium: \$ 249.00
Tax: \$ 20.17
Rate: General Schedule Standard Coverage
Work Charge (includes Tax): \$ 270.25
Total: \$ 539.42
3. The estate or interest in the Land described or referred to in this Commitment is:
Fee Simple
4. The Title is, at the Commitment Date, vested in:
City of Kelso, a municipal corporation of the State of Washington
5. The Land is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

END OF SCHEDULE A

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EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): 22455

Lot(s) 4 and 5, Block 12, NORTHERN ADDITION TO KELSO, according to the plat thereof, recorded in Volume 3 of Plats, Page 103, records of Cowlitz County, Washington.

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AMERICAN
LAND TITLE
ASSOCIATION



**SCHEDULE B, PART I
REQUIREMENTS**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Additional requirements and/or exceptions may be added as details of the transaction are disclosed to, or become known by the Company.
6. The application for title insurance was placed by reference to only a street address or tax identification number. The proposed Insured must confirm that the legal description in this report covers the parcel(s) of Land requested to be insured. If the legal description is incorrect, the proposed Insured must notify the Company and/or the settlement company in order to prevent errors and to be certain that the legal description for the intended parcel(s) of Land will appear on any documents to be recorded in connection with this transaction and on the policy of title insurance.
7. The Proposed Policy Amount(s) must be increased to the full value of the estate or interest being insured, and any additional premium must be paid at that time. An Owner's policy should reflect the purchase price or full value of the Land. A Loan Policy should reflect the loan amount or value of the property as collateral. Proposed Policy Amount(s) will be revised and premiums charged consistent therewith when the final amounts are approved.
8. For each policy to be issued as identified in Schedule A, Item 2; the Company shall not be liable under this commitment until it receives a designation for a Proposed Insured, acceptable to the Company. As provided in Commitment Condition 4, the Company may amend this commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.
9. If the Seller or Borrower intends to sign documents required to insure the transaction utilizing a remote online notary, please notify the Company immediately as additional underwriting requirements will need to be satisfied.
10. Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing.

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**SCHEDULE B, PART I
REQUIREMENTS**
(continued)

11. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:

Name of Corporation: City of Kelso

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

END OF REQUIREMENTS

NOTES

The following matters will not be listed as Special Exceptions in Schedule B of the policy. There will be no coverage for loss arising by reason of the matters listed below because these matters are either excepted or excluded from coverage or are not matters covered under the insuring provisions of the policy.

Note A: Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.

Note B: Note: The Public Records indicate that the address of the improvement located on said Land is as follows:

Vacant Land
Kelso, WA 98626

Note C: Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.

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**SCHEDULE B, PART I
REQUIREMENTS**
(continued)

Note D: Note: FOR INFORMATIONAL PURPOSES ONLY:

The following may be used as an abbreviated legal description on the documents to be recorded, per Amended RCW 65.04.045. Said abbreviated legal description is not a substitute for a complete legal description within the body of the document:

Lot(s) 4 and 5, Block 12, NORTHERN ADDITION TO KELSO, 3/103
Tax Account No.: 22455

Note E: Note: This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances or acreage shown thereon.

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**SCHEDULE B, PART I
REQUIREMENTS**
(continued)

Note F: Recording Charge (Per Document) for closings prior to July 26, 2021 is the following:

County	First Page	Each Additional Page
Clark and Cowlitz	Deed \$103.50	\$1.00 each additional page
Clark and Cowlitz	Deed of Trust Basic Fee \$104.50	\$1.00 each additional page

Recording Charge (Per Document) for closings on July 26, 2021 and after is the following:

County	First Page	Each Additional Page
Clark and Cowlitz	Deed \$203.50	\$1.00 each additional page
Clark and Cowlitz	Deed of Trust Basic Fee \$204.50	\$1.00 each additional page

Note: When possible the company will record electronically. An additional charge of \$4.00 plus sales tax applies to each document recorded electronically.

Note: A multiple transaction document bears an additional fee for each additional title.

Note: A document that fails to conform to certain formatting and page one requirements bears an additional \$50.00 charge.

RECORDING AND PROCESSING CHARGES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

Send all Recording Packages to:

Recording Department
655 W. Columbia Way, Ste 200
Vancouver, WA 98660

Email all Releases to:
ClarkWArecordings@fnf.com

END OF NOTES

END OF SCHEDULE B, PART I

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**SCHEDULE B, PART II
EXCEPTIONS**

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

GENERAL EXCEPTIONS

- A. Rights or claims of parties in possession, or claiming possession, not shown by the Public Records.
- B. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
- C. Easements, prescriptive rights, rights-of-way, liens or encumbrances, or claims thereof, not shown by the Public Records.
- D. Any lien, or right to a lien, for contributions to employee benefit funds, or for state workers' compensation, or for services, labor, or material heretofore or hereafter furnished, all as imposed by law, and not shown by the Public Records.
- E. Taxes or special assessments which are not yet payable or which are not shown as existing liens by the Public Records.
- F. Any lien for service, installation, connection, maintenance, tap, capacity, or construction or similar charges for sewer, water, electricity, natural gas or other utilities, or for garbage collection and disposal not shown by the Public Records.
- G. Unpatented mining claims, and all rights relating thereto.
- H. Reservations and exceptions in United States Patents or in Acts authorizing the issuance thereof.
- I. Indian tribal codes or regulations, Indian treaty or aboriginal rights, including easements or equitable servitudes.
- J. Water rights, claims or title to water.
- K. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.

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SCHEDULE B, PART II
EXCEPTIONS
(continued)

SPECIAL EXCEPTIONS

1. Payment of the real estate excise tax, if required.

The Land is situated within the boundaries of local taxing authority of Cowlitz County.

The rate of real estate excise tax for properties which are not formally classified and specially valued as timberland or agricultural land is:

State portion: 1.10% on any portion of the sales price of \$500,000 or less;
1.28% on any portion of the sales price above \$500,000, up to \$1,500,000;
2.75% on any portion of the sales price above \$1,500,000, up to \$3,000,000;
3.00% on any portion of the sales price above \$3,000,000;

Local portion: .25% on the entire sales price.

An additional \$5.00 State Technology Fee must be included in all excise tax payments.

If the transaction is exempt, an additional \$5.00 Affidavit Processing Fee is required.

Any conveyance document must be accompanied by the official Washington State Excise Tax Affidavit, which can be found online [HERE](#). The applicable excise tax must be paid and the affidavit approved at the time of the recording of the conveyance documents. (NOTE: Real Estate Excise Tax Affidavits must be printed as legal size forms).

2. The property herein described is carried on the tax rolls as exempt as to general real property taxes (not special taxes and charges). However, it will become taxable on the date of the execution of a conveyance to a taxable entity and subject to the lien of real property taxes for the balance of the year from that date:

Tax Account Number: 22455
Levy Code: 800
Millage Rate: 11.793349
Location Code:
Assessed Value-Land: \$4,950.00
Assessed Value-Improvements: \$1,000.00
Affects:

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**SCHEDULE B, PART II
EXCEPTIONS**
(continued)

3. General and special taxes and charges, payable February 15, delinquent if first half unpaid on May 1, second half delinquent if unpaid on November 1 of the tax year:

Year:	2021
Tax Account No.:	22455
School District/Levy Code:	800
Assessed Total:	\$5,950.00
Millage Rate:	11.793349

General and Special Taxes:

First Half Billed:	\$2.33
Second Half Billed:	\$2.32
Unpaid:	\$0.00

Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies.

4. Any unrecorded leaseholds, right of vendors and holders of security interests on personal property installed upon the Land and rights of tenants to remove trade fixtures at the expiration of the terms.

END OF SCHEDULE B, PART II

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COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I-Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I-Requirements;
- (f) Schedule B, Part II-Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I-Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II-Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I-Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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(continued)

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II-Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

END OF CONDITIONS

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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RECORDING REQUIREMENTS

Effective January 1, 1997, document format and content requirements have been imposed by Washington Law. Failure to comply with the following requirements may result in rejection of the document by the county recorder or imposition of a \$50.00 surcharge.

First page or cover sheet:

3" top margin containing nothing except the return address.

1" side and bottom margins containing no markings or seals.

Title(s) of documents.

Recording no. of any assigned, released or referenced document(s).

Grantors names (and page no. where additional names can be found).

Grantees names (and page no. where additional names can be found).

Abbreviated legal description (Lot, Block, Plat Name or Section, Township, Range and Quarter, Quarter Section for unplatted). Said abbreviated legal description is not a substitute for a complete legal description which must also appear in the body of the document.

Assessor's tax parcel number(s).

Return address (in top 3" margin).

**A cover sheet can be attached containing the above format and data if the first page does not contain all required data.

Additional Pages:

1" top, side and bottom margins containing no markings or seals.

All Pages:

No stapled or taped attachments. Each attachment must be a separate page. All notary and other pressure seals must be smudged for visibility. Font size of 8 points or larger.



Inquire before you wire!

WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. **DO NOT** use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** **DO NOT** send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do **NOT** reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:
<http://www.fbi.gov>

Internet Crime Complaint Center:
<http://www.ic3.gov>

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective January 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information; Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's [Opt Out Page](#) or contact us by phone at (888) 934-3354 or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue,
Jacksonville, Florida 32204
Attn: Chief Privacy Officer



Fidelity National Title

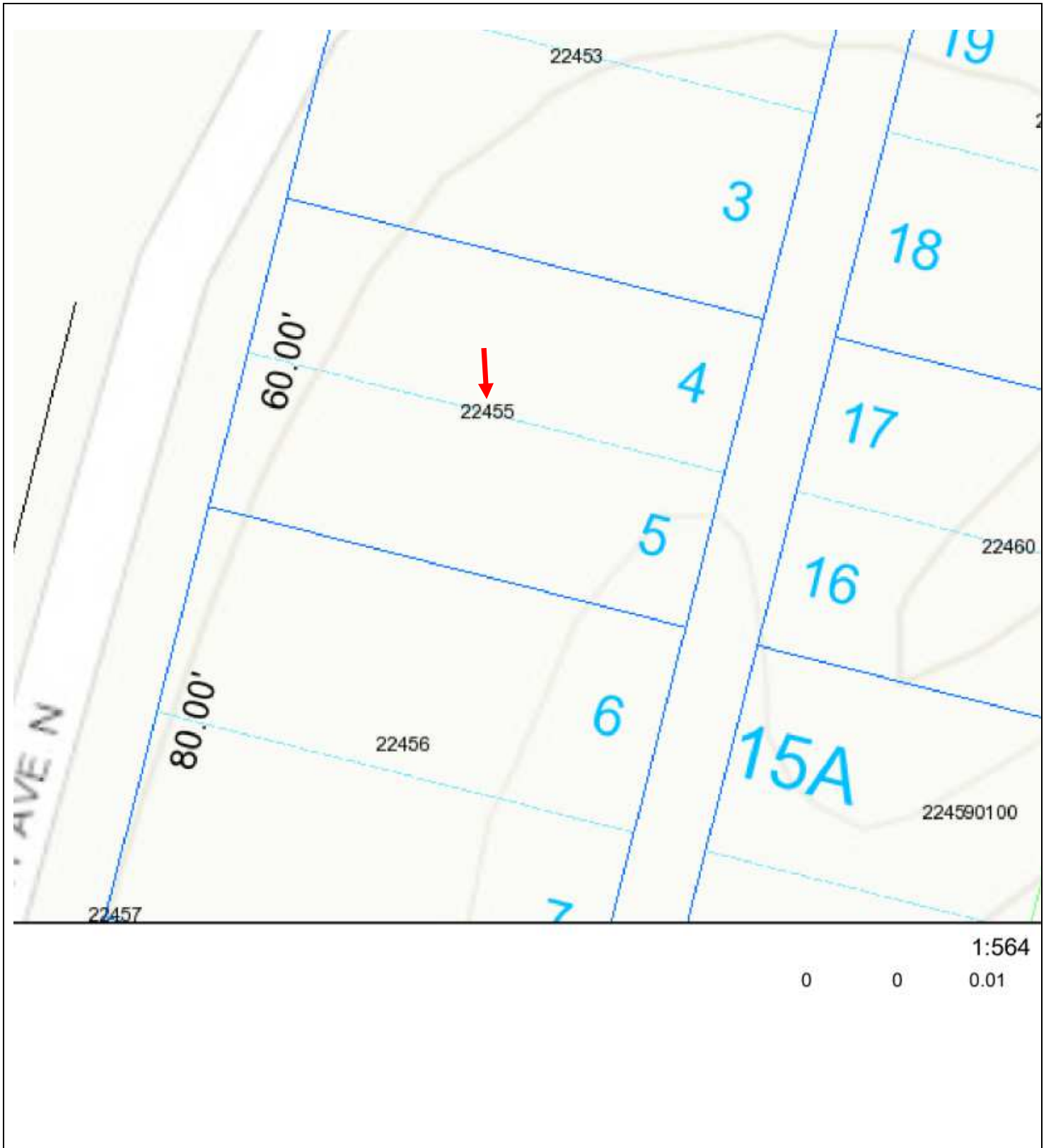
COMPANY OF WASHINGTON, INC.

EXHIBIT "A"

Order No.: 612879112

For APN/Parcel ID(s): **22455**

Lot(s) 4 and 5, Block 12, NORTHERN ADDITION TO KELSO, according to the plat thereof, recorded in Volume 3 of Plats, Page 103, records of Cowlitz County, Washington.



This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

Cowlitz River

COUNTY

ROAD

FRONT

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DAVIS

BUTLERS ADD.

PLAT

V3

Pg. 103

Scale 1" = 100'

ADJUSTING OF PL. CHANGES D.L.S.



[Print this property info](#)

[Request Sales Report](#)

General Property Info

Parcel	22455
Property ID	3036854
	Assessor's Map
	Bldg & Planning EPIC Map
Jurisdiction	KELSO
Acres	0.00
Current Assessment Year	2020
Abbreviated Prop Ref	382 (NORTHERN) -12 -4,5 26 -8N -2W
Section/Township/Range	26-8N-2W
Property Use	UTILITIES
Neighborhood	KELSO
Tax Code Area	800
Exemptions	Yes
Tax Code Area Levy Rates (Total Rate = 11.793349)	+

Assessment Year	Tax Year	Levy Description	Levy Rate
2020	2021	City of Kelso Regular	1.468332
2020	2021	County Current Expense	1.544421

Assessment Year	Tax Year	Levy Description	Levy Rate
2020	2021	Fire Dist #2 2016 F & R Unltd GO Bond	0.203186
2020	2021	Fire Dist #2 Lv/Kelso Regular	1.079211
2020	2021	Human Svcs Mental Health	0.025000
2020	2021	Port of Longview Property Tax Fund	0.195277
2020	2021	School Dist #458 Debt Service	2.311647
2020	2021	School Dist #458 Enrichment	2.105212
2020	2021	State School Levy Part I	1.853005
2020	2021	State School Levy Part I - Refund	0.000000
2020	2021	State School Levy Part II	0.996808
2020	2021	State School Levy Part II - Refund	0.000000
2020	2021	Veterans Relief	0.011250

Owner Info

Primary Owner	KELSO CITY OF
Address	PO BOX 819
City, State, Zip	KELSO, WA 98626
Country	US

Property Details


Year Built - COMM	1950
Area (SQFT) - COMM BASE	01

Assessor's Office - Assessed Values

For assessed value questions please call (360) 577-3010

Assessment Year	Tax Payable Year	Land Value	Improvement Value	Total Assessed Value	Links to Notice of Valuation
2020	2021	\$4,950	\$1,000	\$5,950	NOV for 2020
2019	2020	\$4,950	\$1,000	\$5,950	NOV for 2019
2018	2019	\$4,950	\$1,000	\$5,950	NOV for 2018
2017	2018	\$4,950	\$1,000	\$5,950	NOV for 2017
2016	2017	\$4,950	\$1,000	\$5,950	NOV for 2016

Assessment Year	Tax Payable Year	Land Value	Improvement Value	Total Assessed Value	Links to Notice of Valuation
2015	2016	\$4,950	\$1,000	\$5,950	NOV for 2015
2014	2015	\$4,950	\$1,000	\$5,950	NOV for 2014

 [Print Assessed Value History](#)

Treasurer's Office - Taxes and Assessments

[For tax questions please call \(360\) 577-3060](#)

Tax Year	Stmt ID	Taxes	Assessments	Total Charges	Total Paid	First Half	Second Half	Total Due	View Statement
2021	38934	\$0.00	\$4.65	\$4.65	\$4.65	\$0.00	\$0.00	\$0.00	View 2021
2020	39147	\$0.00	\$4.55	\$4.55	\$4.55	\$0.00	\$0.00	\$0.00	View 2020
2019	39365	\$0.00	\$3.80	\$3.80	\$3.80	\$0.00	\$0.00	\$0.00	View 2019
2018	173036854	\$0.00	\$3.80	\$3.80	\$3.80	\$0.00	\$0.00	\$0.00	View 2018

Pay Your Cowlitz County Treasurer Bills Or

[Search by Property ID, Parcel Number, Owner Name or Address](#)

[Search by Property ID, Parcel Number, Owner Name or Address](#)

[or click here to launch the payment portal](#)

Treasurer's Office - Payment History


[For payment questions please call \(360\) 577-3060](#)

Payment ID	Date Paid	Amount Due	Amount Paid
1831704	04/23/2021	46831.31	46831.31

This information is available for 2019 tax payments forward. If you need information for 2018 and prior tax payments, please call the Treasurer's Office at 360-577-3060.

Payment ID	Date Paid	Amount Due	Amount Paid
1738468	04/24/2020	51830.53	51830.59
1618486	04/22/2019	43228.65	43352.64

This information is available for 2019 tax payments forward. If you need information for 2018 and prior tax payments, please call the Treasurer's Office at 360-577-3060.

 [Print Tax History](#)

Auditor's Office - Conveyances

For recording questions please call (360) 577-3006

Recording Number	Book	Page	Grantor	Grantee
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<u>349375</u>	492	220		
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CCW Sep 16, 1950 by Maurice Veys and Mathilde Veys, hus and wf bef John A Gough NP in and for the St of Wn resdg at Lgv ns com exp July 21, 1951 fld by Rel Ti 11:45 a m ml

Rel of Mtg
Sep 16 50
Sep 12 50

349374
497-616

Maurice Veys and Mathilde Veys to Carl E Magart and Clara E Magart, hus and wf (form #68)...Sep 2, 1947...sp...fp, hus and wf...\$1500.00 ...Cz...Sep 3, 1947...doc #292311...bk 417...pg 480

SIGNED AND ACKLDGD SM AS PRECEDING INSTRU fld by Rel Ti 11:45 a m ml

192/3 1st Northern Pac addn to Castle Rock

W D \$10.00 oc
Sep 16 50 1.00 st
Sep 15 50 1.10 usir

349375
492-22

Dale C Tompkins and Lucille A Tompkins, hus and wf to The City of Kelso, a mun corpn fp cvys and ws to sp the f d r e sit in CCW:

Lots 4 and 5 Blk 12 Northern Addn to Kelso accdg to the recdd plat thof.

Dale C Tompkins
Lucille A Tompkins

CCW Sep 15, 1950 by Dale C Tompkins and Lucille A Tompkins hus and wf bef Leon T Noble NP in and for the St of Wn resdg at Lgv ns com exp July 1, 1954 fld by Rel Ti 11:45 a m ml

W D \$10.00 ovc
Sep 16 50 7.50 st
Sep 11 50 8.25 usir

349376
492-23

A C Grace and Myrtle R Grace, hus and wf to Craig E Marsters and Sylvia E Marsters, hus and wf fp cvys and ws to sp the f d r e sit in CCW:

Lot 37 Blk 20 Oly Addn to Lgv #1 accdg to the recdd plat thof.

A C Grace
Myrtle R Grace

CCW Sep 11, 1950 by A G Grace and Myrtle R Grace, hus and wf bef Rachel E Hill NP in and for the St of Wn resdg at Lgv ns com exp Jan 31, 1954 fld by Rel Ti 11:46 a m ml Gen Mtg Corpn